

Design Requirements for Terrace Housing

Block	Section	Suburb
a	BC	Strathnairn
b	BC	Strathnairn
c	BC	Strathnairn
d	BC	Strathnairn
e	BC	Strathnairn
f	BC	Strathnairn
g	BC	Strathnairn
j	BC	Strathnairn
n	BC	Strathnairn
r	BC	Strathnairn

Block	Section	Suburb
i	BC	Strathnairn
k	BC	Strathnairn
l	BC	Strathnairn
m	BC	Strathnairn
o	BC	Strathnairn
p	BC	Strathnairn
q	BC	Strathnairn
s	BC	Strathnairn
t	BC	Strathnairn
u	BC	Strathnairn
v	BC	Strathnairn
w	BC	Strathnairn
x	BC	Strathnairn

Strathnairn & Macnamara

Contents

Part 1 - Introduction	4
The Ginninderry vision: an inspiring 21st century community	4
Setting the highest standards	4
Innovative ideas and technologies	4
Part 2 - Design Approval Process	5
How the process works	5
Compliance Bond	5
Part 3 - Design Requirements	6
Public domain interface	6
Local character and context	7
Landscape design	7
Visual appearance and articulation to corners	9
Roof form	9
Roofing materials	9
Eaves, awnings and sunhoods	9
Mailbox	9
Bush fire requirements	9
Energy Efficiency Rating	9
Zoning	9
Building height	9
Building front setback	9
Fencing & courtyard walls	9
PPOS requirements	9
Natural ventilation	9
Dwelling size and layout	10
Garage and garage doors	10
Storage	10
Bin locations	11



ACT
Government

Suburban Land
Agency



RIVERVIEW
GROUP

Contents

Ceiling heights	11
Glazing	11
Home Energy Systems	11
Appliance and fixtures	11
Hot water systems	12
Heating and cooling	12
Rainwater tanks	12
Electric Vehicle (EV) Charging Provision	13
Retaining walls	13
Rear lane access	14
Services and ancillary structures	14
Dog and cat containment	14
Part 4 - Appendices	18
Appendix A - Block Disclosure Plans	
Appendix B - Planning Control Plans	
Appendix C - Fencing Control Plan	
Appendix D - Fill Plan	
Appendix E - Landscaping Planting Palette	
Appendix F - Intentionally Blank	
Housing Development Requirements Application Form	

Part 1:

Introduction

The Ginninderry vision: an inspiring 21st century community

The Ginninderry community will be unique in our region. It extends across the ACT/NSW border to the west of Belconnen and is being developed by a Joint Venture between the ACT Suburban Land Agency (SLA) and Riverview Developments (ACT) Pty Ltd.

From the start, our vision for Ginninderry has been to build a community of international significance, with innovation, diversity and ecological criteria at its core. Now we're bringing this vision to life.

Setting the highest standards

The terrace sites at Ginninderry will form part of a whole neighbourhood design.

The project team has established high expectations for Ginninderry, perhaps best illustrated by the project's accreditation as Canberra's first 6 Star Green Star Community, through the Green Building Council of Australia. To achieve this certification, we've shown that Ginninderry will be a worldleading community, exhibiting international best practice in urban design and development.

All residents at Ginninderry will benefit from a vast conservation corridor, well connected pedestrian and cycling pathways, tree lined streets and easy access to public transport.

Ginninderry aspires to be recognised as a world leader in sustainable development, delivering a community that is:

- better planned and designed
- more dynamic and vibrant
- a healthy place to live work and play
- productive and prosperous
- flexible, adaptable and resilient.

Innovative ideas and technologies

Like all communities, Ginninderry will evolve and change over time, and so too will building design technologies and materials. It is quite possible that innovative energy, comfort and cost outcomes may be achieved by using new technologies, practices and principles not contemplated in this document.

At the discretion of the Development Manager, mandatory requirements may be varied if better alternatives and solutions are proposed, that do not compromise the overall integrity of Ginninderry's design philosophy.

Part 2:

Design Approval Process

Terrace Housing designs at Ginninderry need to comply with the following:

- These Design Requirements
- Plans relating to this block in Part 4 Appendices
- Relevant Territory Plan District and Zone Policies (as applicable)
- Relevant provisions within the Planning (Exempt Development) Regulation including the Single Dwelling Housing Development Controls and Belconnen District Declaration (as applicable).
- Relevant District and Zone Technical Specifications and ACT Housing Design Guide (as applicable)

Compliance Bond

An important part of the Contract for Sale of land at Ginninderry is the requirement for the payment of a Compliance Bond at the time of settlement. The Compliance Bond is to ensure the adherence to these Design Requirements.

Minimum Requirements

The conditions for the return of the Compliance Bond are:

- You must attend a pre application meeting with the Design Team prior to design submission. Pre application documents should include:
 - A concept site plan
 - Concept floor plans
 - Concept elevation and open space elevation

- The design(s) has been submitted to and approved by the Development Manager prior to building commencement.
- The terrace homes have been built to the approved design in accordance with the Design Requirements
- A letter from your solar installer certifying that the PV system with inverter and Home Energy Management System has been installed to comply with the Sustainability Requirements
- Any damage caused by the construction of the terraces to the surrounding verges, street trees, footpath, services and adjoining land has been rectified to the satisfaction of City & Environment Directorate (CED) and our Development Manager
- All waste on the public verge and adjoining land has been removed
- The purchaser (builder) may not seek to transfer the compliance bond requirements to the ultimate owner of the dwelling(s)
- If found to be compliant, your full Compliance Bond will be returned



Part 3: Design Requirements

The following information outlines the Design Requirements for Terrace Housing within Macnamara.

Design Principle	Design Requirements
<p>Public Domain Interface</p> <p>Provide legible and attractive interfaces that achieve passive surveillance to public streets and lane-ways.</p>	<p>An entry door and entry porch to each dwelling is required to both the main frontage and the laneway frontage.</p> <p>Main frontages to streets and open space links must include a covered entry feature or portico with a minimum dimension of 1.5m x 1.5m.</p> <p>Laneway frontages must include a minimum 0.9(w) x 1.5m(d) articulated covered entry area.</p> <p>Blocks nominated with the rear laneway as the street address must have a front entry door, porch and mailbox to the laneway frontage.</p> <p>Windows fronting a public road from habitable rooms, balconies or decks overlook the public domain.</p> <p>Courtyard walls are to be provided to comply with the Belconnen District Specification and are required to be coordinated with all service requirements, including clearance to any water meters and free access to any electrical meter boxes.</p> <p>Where development frontages are adjacent to open spaces, parks, public walkways or located on a corner, the following requirements apply:</p> <ul style="list-style-type: none">• Habitable rooms have windows to provide passive surveillance (i.e. no ‘blank’ facades)• Building entries and pathways are visible and legible from public domain• Courtyard walls fronting public spaces have transparency of 25% or greater of the surface wall area.



Surveillance of Public Domain

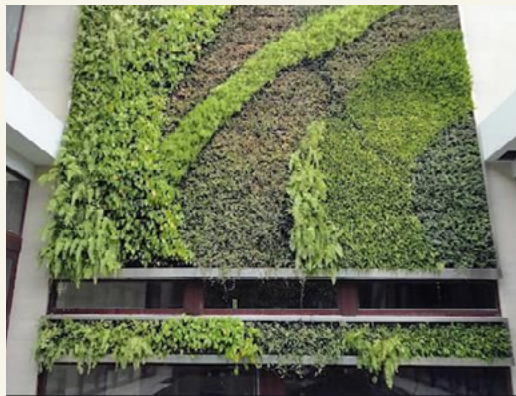


Clear entries behind courtyard walls

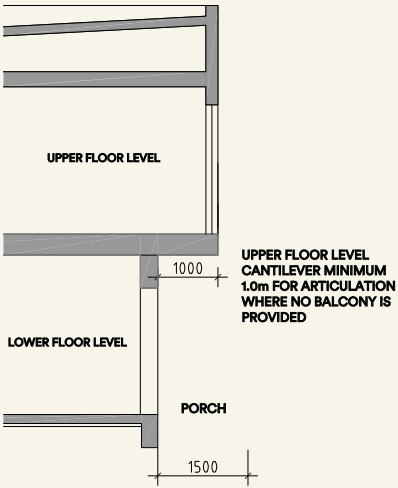
Design Principle	Design Requirements
Local Character and Context The built form, articulation and scale relates to the local character of the area and its context.	<p>The terrace designs should sit comfortably within the Strathnairn & Macnamara Master Plans. Terrace housing is located throughout Ginninderry in prominent locations and on main arterials. As such, designs must provide a high quality, well articulated and active street frontage to the public domains.</p> <p>The design should respond to its orientation and provide private open spaces that utilise the site's assets, provide links and connections from the precinct to adjacent open spaces and thoroughfares.</p>
Landscape Design The landscape design requires healthy plant and tree growth space for medium and large sized trees.	<p>Frontages require 1 small tree with mature height of 5m.</p> <p>Rear or Internal courtyards must include 1 tree with mature height of 5-8m.</p> <p>The landscape plan proposes a combination of tree planting, for shade, mid height shrubs, lawn and ground covers.</p> <p>Include a mix of species that are appropriate for scale and shading.</p> <p>Synthetic or artificial grass is not permitted.</p> <p>Refer Appendix E for suggested Landscape Planting Palette.</p>

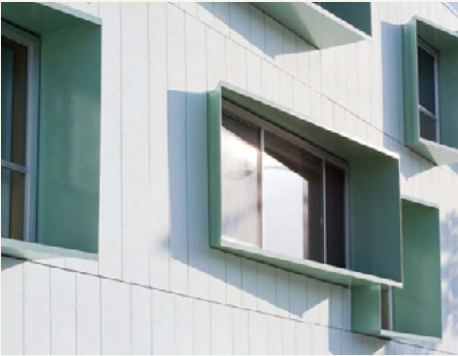


Courtyard spaces should allow natural light and cross-ventilation to living spaces



An example of a vertical greenwall to help soften small courtyard areas

Design Principle	Design Requirements
<p>Visual Appearance and Façade Articulation</p> <p>To promote well designed buildings of high Architectural quality that contribute to the local character.</p> <p>The facades of the terrace homes must be designed as an integrated pack to provide a consistent streetscape.</p> 	<p>The development is to incorporate articulation to frontages and laneways.</p> <p>The following elements help to provide functional articulation. The design must demonstrate how it responds to this requirement by incorporating the following:</p> <ul style="list-style-type: none">• A covered entry feature or portico is mandatory to main frontages and laneways.• A cantilever of 1.0m of the upper floor over lower floors is mandatory where a balcony is not provided• A balcony, deck, pergola, terrace, or verandah• Awnings, sunhoods, and louvres• Eaves and vertical shading to western windows• Screens to service/ancillary systems• Blade walls and building projections• Consideration of integration/ placement of downpipes• Extruded box window treatments• Access ramps as required <p>The overall streetscape must have a light base colour as the prominent wall finish with light weight cladding and include a mix of materials to provide articulation.</p> <p>Double storey designs must incorporate balconies at bookends/corners with a combination of solid and perforated metal or glass balustrades.</p> <p>Facade glazing to street frontages must be more vertical in proportion with mullion spacing less than 1.0m. Openings of 2.4m wide or more must be a minimum of 3 panels.</p> <p>Metal profile cladding systems or FC style boards with profile widths of a maximum 200mm are encouraged.</p>



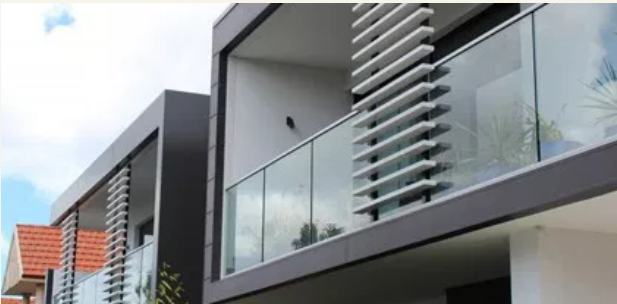
Sunhood and Awning



Light filled screened balconies.



Clearly articulated facades add value and character to the streetscape

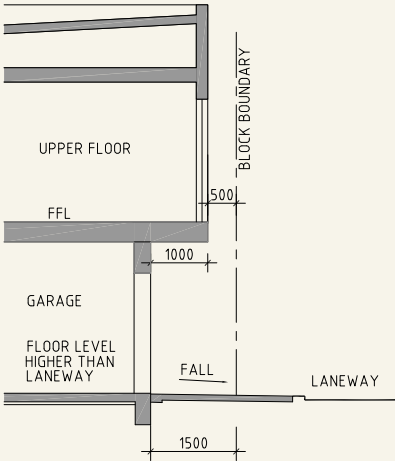


Passive Surveillance with articulated and screened balconies



Clearly articulated facades add value and character to the streetscape

Design Principle	Design Requirements
Visual Appearance and Articulation to Corners	<p>Refer to the block planning controls.</p> <p>Corner blocks are required to provide a minimum of 50% articulation to the secondary frontage.</p> <p>Articulation elements such as balconies, blade walls, pergolas, sunhoods, awnings, façade treatments, material use and expressed structure are required to add visual interest and avoid large blank wall planes to prominent corners.</p> <p>Buildings may need to be stepped back further on corners to permit balconies, glazing and larger eaves without encroachment into secondary front setbacks. All materials must wrap around the corner dwellings by at least 5 metres.</p>
Roof Form	<p>The roof treatments are integrated into the building design and positively respond to open space and laneway and provide for individual expression for each dwelling.</p> <p>The roof form must consider how to integrate the solar panels. Lights and ventilation systems are integrated into the roof design.</p> <ul style="list-style-type: none"> • Gable roof – minimum 25 degrees if visible • Skillion – 10 to 15 degrees minimum if visible • Parapets - must fully conceal the roof form and gutters and return down both side elevations for the length of the facade. • Integrated roof forms that conceal multiple dwellings are not permitted. • Standard Colorbond roof profiles are permitted. • Roof colour must have solar absorbance of <0.7. Very dark or black roofs are not permitted.
Roofing Materials	<p>Metal profile roof sheeting only. Refer to Approved Colours and Finishes palette on the Housing Design Requirements Application Form.</p>
Eaves, Awnings and Sunhoods	<p>Minimum 600mm eaves required. Any windows that are not protected by an eave, i.e Parapet walls, require awnings or sunhoods.</p>
Mailbox	<p>Mailboxes should be incorporated into a courtyard wall (where permitted).</p> <p>Standalone mailboxes must compliment the home and must be constructed of masonry such as smooth face brick, stone faced masonry, rendered or bagged masonry or natural stone.</p>
Bush Fire Requirements	<p>Refer to the Belconnen District Declaration for bushfire ratings in Macnamara.</p>

Design Principle	Design Requirements
Energy Efficiency Rating	<p>A minimum NatHERS rating of 7.0 is required for each dwelling. A NatHERS Certificate and Whole of Home assessment must be provided. Ratings will be reviewed by an accredited assessor as required.</p> <p>The NatHERS Certificate must reflect the following mandatory requirements:</p> <ul style="list-style-type: none"> • Insulation batts are to be provided to all subfloor spaces between floors (in addition to wet areas). • Thermally broken or uPVC window frames with double glazing.
Zoning	Zone RZ4.
Building Height	Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).
Building Front Setback	Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).
Fencing & Courtyard Walls	Refer to Belconnen District Specification & Fencing Controls Plan.
PPOS Requirements	Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).
Natural Ventilation	All habitable rooms must be naturally ventilated.
Dwelling Size and Layout	<p>The dwelling has sufficient area to ensure the layout of rooms are functional, well organised and provide a high standard of amenity.</p> <p>Minimum Net Living Areas (NLA's)</p> <ul style="list-style-type: none"> • 1 bed = 50m² • 2 bed = 70m² • 3+ bed = 95m² <p>Kitchens are not part of circulation spaces such as hallways.</p>
Garage and Garage Doors 	<p>Garages are to be located at least 1m behind the built form. This may include the setback from projecting upper floors, balconies and blade walls.</p> <p>When rear loaded garages are permitted to be built to a zero allotment to a laneway articulation of at least a 500mm setback is required to every third terrace pack.</p> <p>Consider the use of masonry base elements to corners of garages and lightweight elements where appropriate.</p> <p>We may consider alternate articulation of rear laneways on architectural merit such as where surveillance units are adopted or unusual lot shapes require an alternate design response.</p> <p>Additional setbacks to a laneway may be required to accommodate services such as sewer, water and storm water ties and any other associated service.</p> <p>Provide panel lift or tilt up garage doors. Roller doors are not permitted.</p>



Garage storage solutions



Bicycle storage solutions

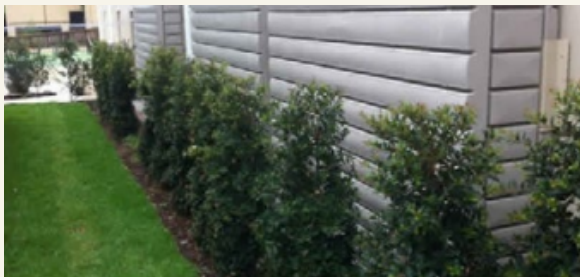


Laundry linen storage

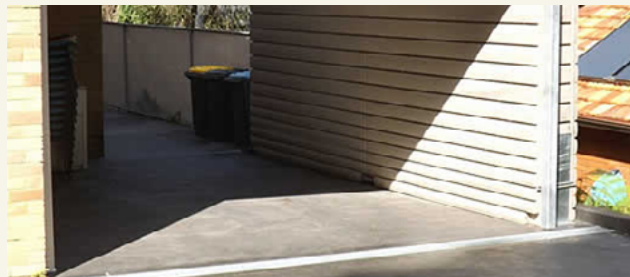
Design Principle	Design Requirements
Storage	<p>Terrace designs must provide adequate storage and at least 50% of the required storage must be within the dwelling.</p> <p>Minimum Storage Area Provision:</p> <ul style="list-style-type: none"> • 1 bed = 6m³ • 2 bed = 8m³ • 3+ bed = 10m³ <p>External storage must be covered and secure and provide secure area for bicycles if not in the garage.</p>
Bin Locations	<p>Storage for three bins must be provided including general waste, recycling and green waste. Bin locations should be integrated with the dwelling designs and screened from public view.</p> <p>Kitchen design must allow for easy waste separation.</p>
Ceiling Heights	<p>Ceiling heights are to achieve sufficient natural ventilation and provide daylight access and spatial quality.</p> <p>Minimum ceiling heights:</p> <ul style="list-style-type: none"> • 2.7m to ground floor habitable rooms • 2.7m to upper floor living areas • 2.5m to upper level bedrooms
Glazing	<p>uPVC or thermally broken aluminum double glazing is required to all external windows and doors. Correct glazing type must be reflected on the NatHERs Certificate for the dwelling.</p>

Design Principle	Design Requirements				
Home Energy Systems	<p>Dwellings must be all-electric with no mains or bottled gas connections.</p> <p>A PV System with a Home Energy Management System and compatible inverter must be installed for all dwellings under the following provisions:</p> <p>Block Size (m2) - Mandatory PV Size</p> <p>a. Minimum PV Size:</p> <table border="1"> <thead> <tr> <th>Block size (m2)</th><th>Mandatory minimum PV size (kW)</th></tr> </thead> <tbody> <tr> <td>0 < 250</td><td>2</td></tr> </tbody> </table> <p>b. Home Energy Systems must be a Reposit Power (battery is required) or Evergen.</p> <p>c. The solar inverter must be compatible with the chosen Home Energy Systems above.</p> <p>d. Where PV panels are located on a roof section fronting a street, they must be installed flush with the roof.</p> <p>e. All hardware components must be installed by a certified Solar Accreditation Australia installer.</p>	Block size (m2)	Mandatory minimum PV size (kW)	0 < 250	2
Block size (m2)	Mandatory minimum PV size (kW)				
0 < 250	2				
Appliances and Fixtures	<p>Induction cooktops must be provided to all dwellings.</p> <p>All appliances, water fixtures and fittings must have a minimum 4 star rating under the water efficiency labeling and standards (WELS) scheme and (where required) a 4 star energy rating under the energy rating label (Energy Efficiency Rating) scheme.</p> <p>This includes showerheads, tap ware, toilets, fridges, freezers, washing machines, dryers and any other appliance provided with the dwelling.</p>				
Hot Water Systems	<p>All dwellings must have a solar or heat pump hot water system installed. Roof top solar water collectors are not permitted on the roof fronting the street. Consideration must be given to the location of any tank including screening or placement within a cupboard or garage space.</p> <p>Hot water systems must be climate appropriate and have temperature application range down to -5 degrees ambient air temperature.</p>				

Design Principle	Design Requirements
Heating and Cooling	<p>Passive heating and cooling must be considered for all dwellings including ceiling fans and thermal mass)</p> <p>If Mechanical heating and/ or cooling systems are installed they must be:</p> <ol style="list-style-type: none"> reverse cycle air conditioning with: <ul style="list-style-type: none"> Energy Efficiency Rating of 3.1 or higher for cooling cycle Coefficient of Performance of 3.5 or higher for heating cycle Outdoor unit with sound pressure level of 57dBA at 1.0m or lower for heating and cooling cycle air conditioning with a cooling cycle only that achieves an Energy Efficiency Rating of 3.1 or higher ducted evaporative cooling with self-closing damper ground source heat pump. <p>Considerations must be given to the location of any outdoor fan coil unit including screening and compliance with ACT EPA noise requirements.</p>



Narrow style rainwater tanks can be used where space requirements are restrictive



Rainwater tanks incorporated into a carport design shows clever and effective use of small spaces

Design Principle	Design Requirements				
Rainwater Tanks	<p>Rainwater Tanks should be considered for all dwellings.</p> <p>The following minimum size requirements apply:</p> <table> <tr> <th>Block size (m2)</th><th>Mandatory minimum (litres)</th></tr> <tr> <td>0 < 250</td><td>Not mandatory, consider for environmental purposes</td></tr> </table>	Block size (m2)	Mandatory minimum (litres)	0 < 250	Not mandatory, consider for environmental purposes
Block size (m2)	Mandatory minimum (litres)				
0 < 250	Not mandatory, consider for environmental purposes				
Retaining Walls <p>Extensive earthworks should be limited where possible to minimise the extent of retaining wall costs and the visual impacts to the streetscape.</p>	<p>Minimum Requirements:</p> <ul style="list-style-type: none"> • The height of site cuts along the side boundaries with attached neighbouring wall cannot exceed 500mm in height - Front cut retaining walls must not exceed 400mm in height. • Front fill retaining walls must not exceed 1.0m in height with tiered increments separated by 1.0m provided. • Where a retaining wall is required in combination with a courtyard wall the maximum combined height of retaining wall and courtyard wall is 2.2m. ie 1.0m high wall + 1.2m high courtyard wall • Retaining wall forward of the front building line must be constructed from the following materials at the discretion of the Ginninderry Development Manager <ul style="list-style-type: none"> - Approved face brick - Approved rendered masonry - Approved brickwork such as split face, honed or shot blast finishes - Approved stone faced masonry - Approved reinforced concrete finishes • Timber, concrete sleepers or prefabricated modular systems are not permitted forward of the building line. • Retaining walls along side boundaries forward of the building line must be tapered or stepped in line with the finished ground level at the front boundary. • Where there are services such as water, electrical, communications, sewer and storm water, detailed coordination of all courtyard wall locations and associated services must be considered in the initial design process. 				



Arch split face block



Streetscape



Well articulated dwelling designs provide a functional and more attractive streetscape

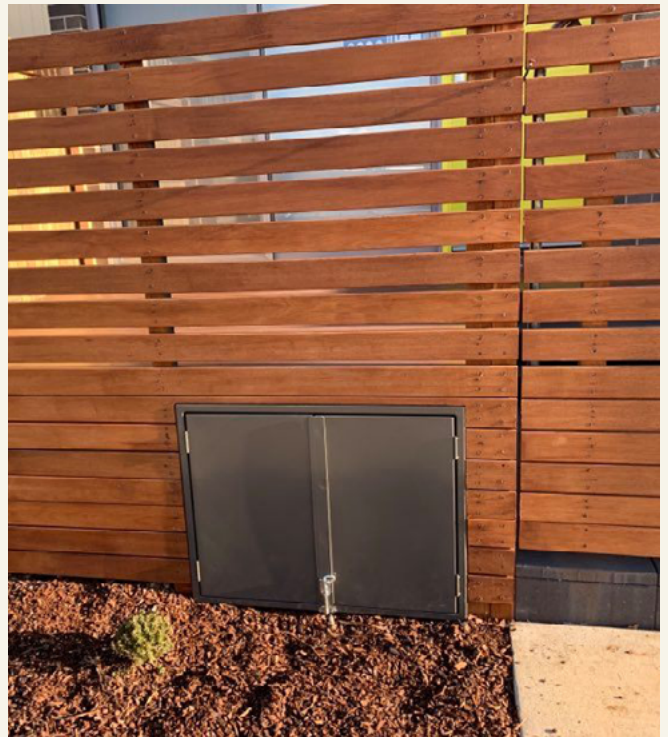
Design Principle	Design Requirements
Services and ancillary structures	<p>Services such as water, electricity meter boxes, NBN and home energy system cabinets can have an adverse impact on the overall streetscape if not considered as part of the overall design.</p> <p>The location of the above services will be required to be shown on the site plan as part of the design approval process.</p> <p>Minimum Requirements:</p> <ul style="list-style-type: none"> • Water, electricity meter boxes, NBN and home energy system cabinets must be integrated into the front façade and located away from the front door • Solar panels must sit flush with the roof line if located to the street frontages of the dwellings • Storage tank for solar HWS is not permitted to be mounted on the roof fronting the street • Aerials, satellite dishes, antennae, heat pumps, A/C units and evaporative units are to be located to the rear of the dwellings and must not be visible from the street. • Clothes drying lines and garbage bins are to be located to the rear of the terraces. If they are located to the side of the house within the Primary Building zone, they must be screened from public view. • Sheds, outdoor structures are to be located to the rear of the terraces and away from public view.
Dog and Cat containment	<p>Minimum Requirements:</p> <p>Suburbs within Ginninderry are Cat Containment and Dog on Leash areas. Designs should give consideration to responsible pet ownership principles including the use of enclosures or cat runs. More information can be obtained at: https://www.cityservices.act.gov.au/pets-and-wildlife/domestic-animals/cats/cat-containment</p> <ul style="list-style-type: none"> • Dogs must remain on leash in public areas except within designated un-leashed areas such as dog parks. • Dogs are not permitted in the conservation corridor.



Cat containment



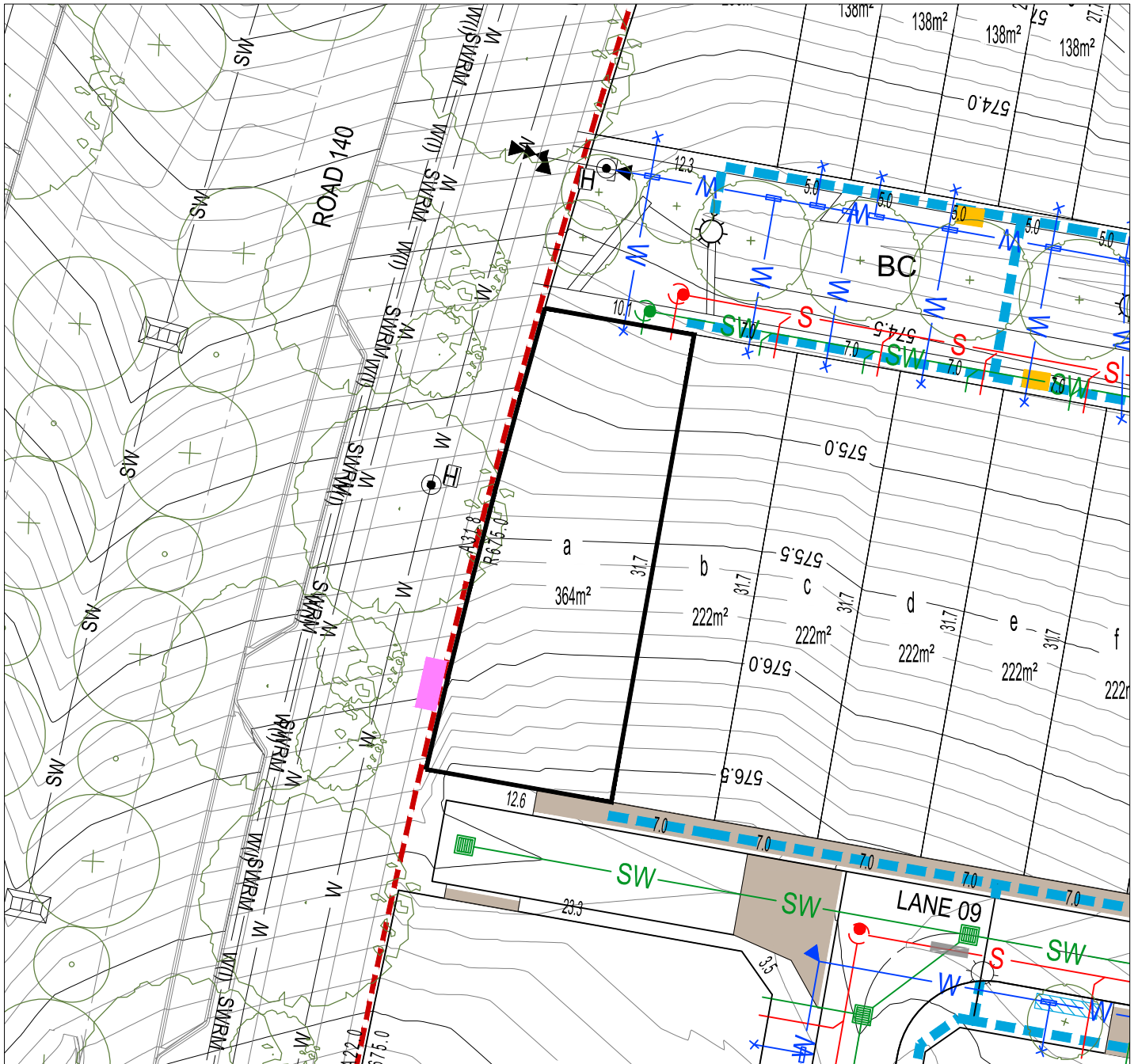
Integrated water meter details within courtyard walls





Part 4: Appendix A

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

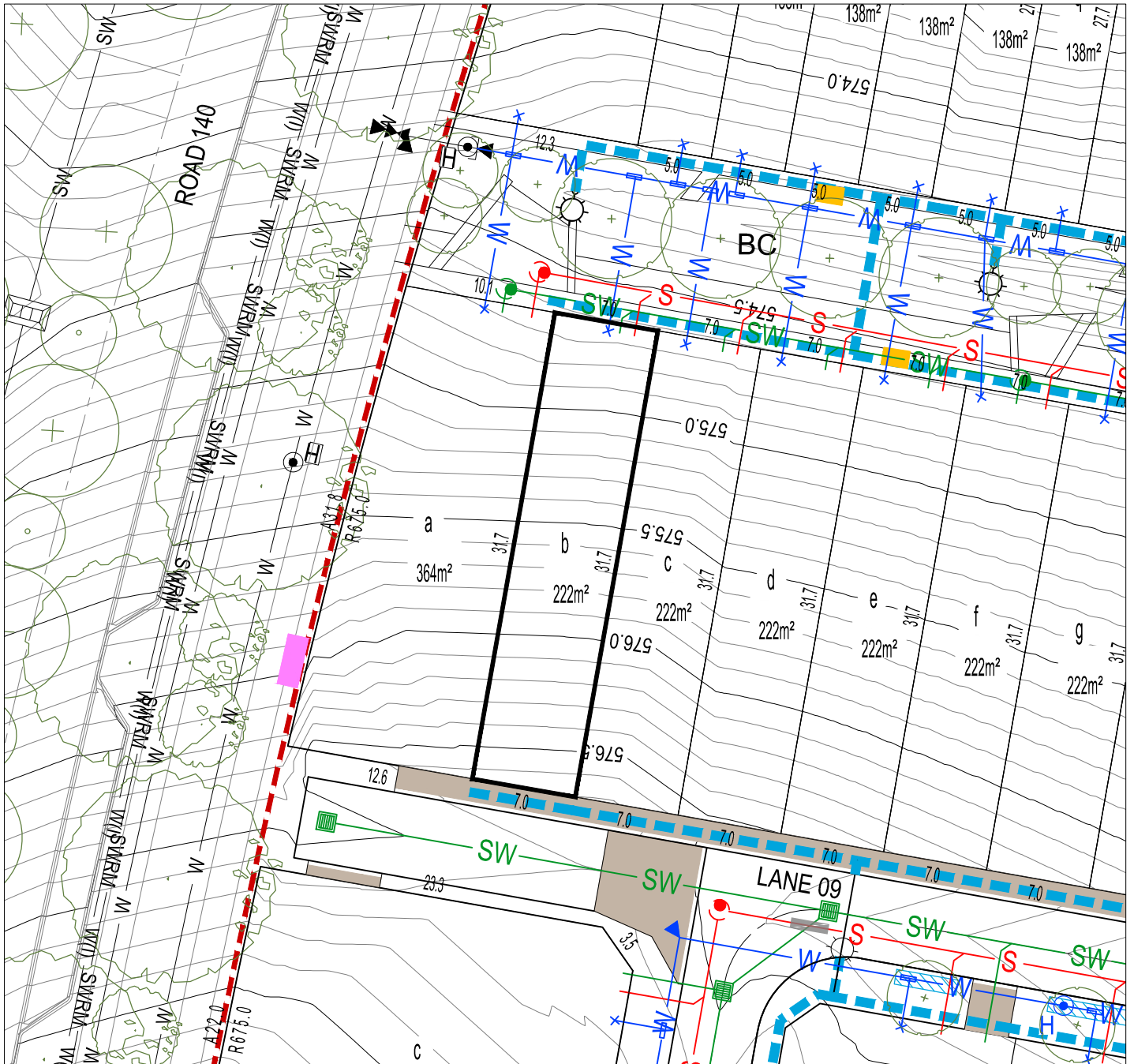
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

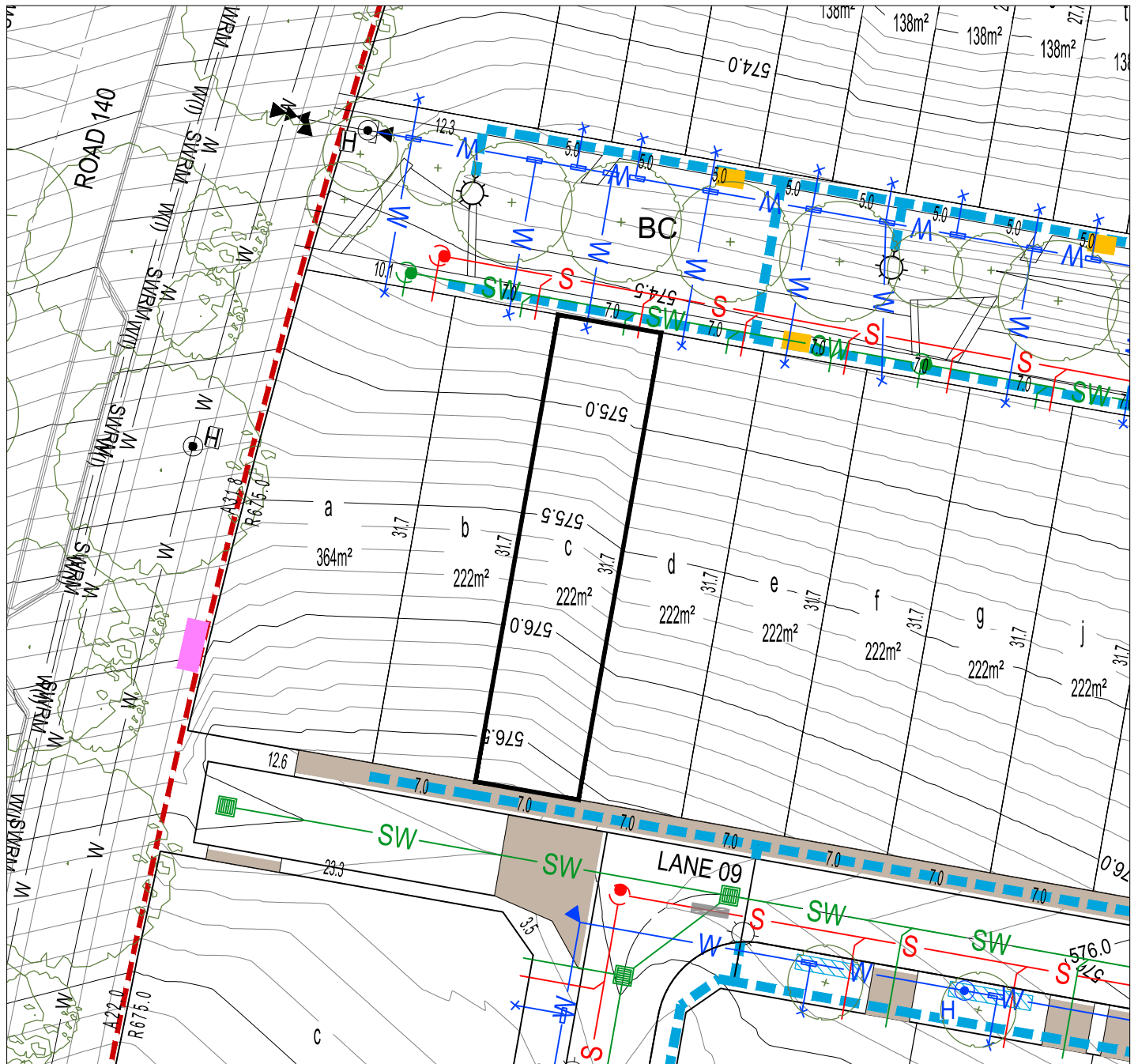
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

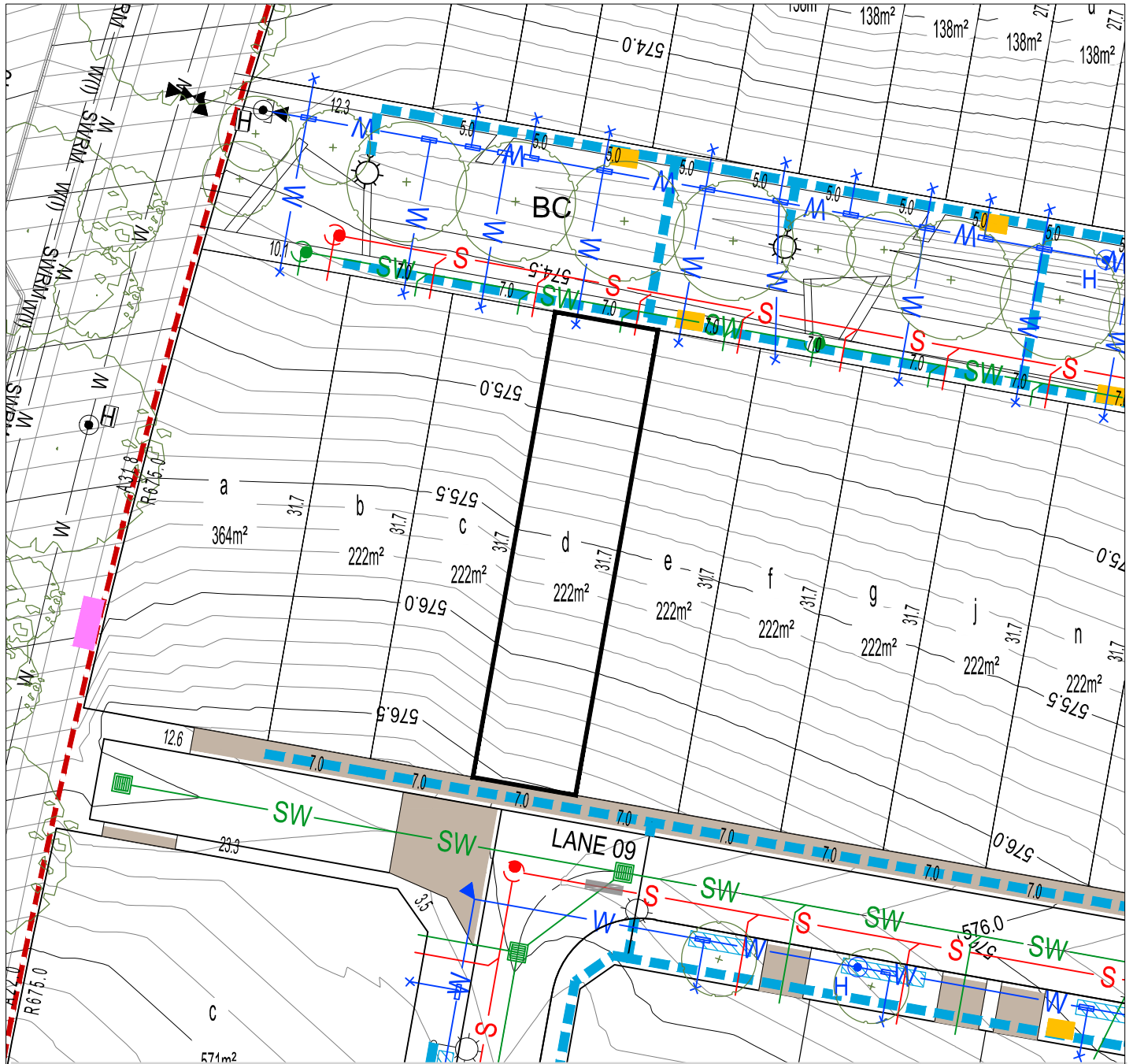
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN. REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN.

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

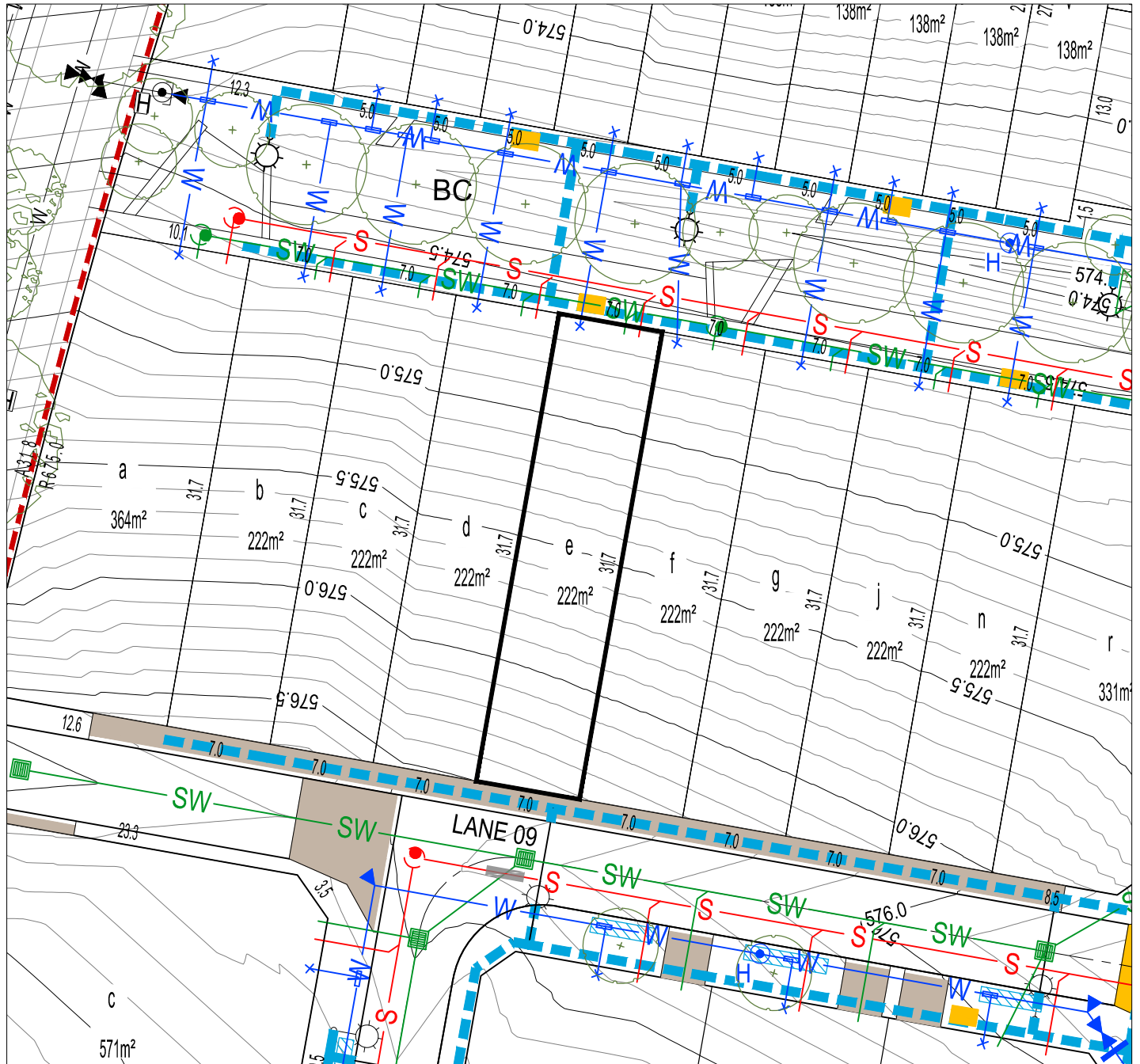
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

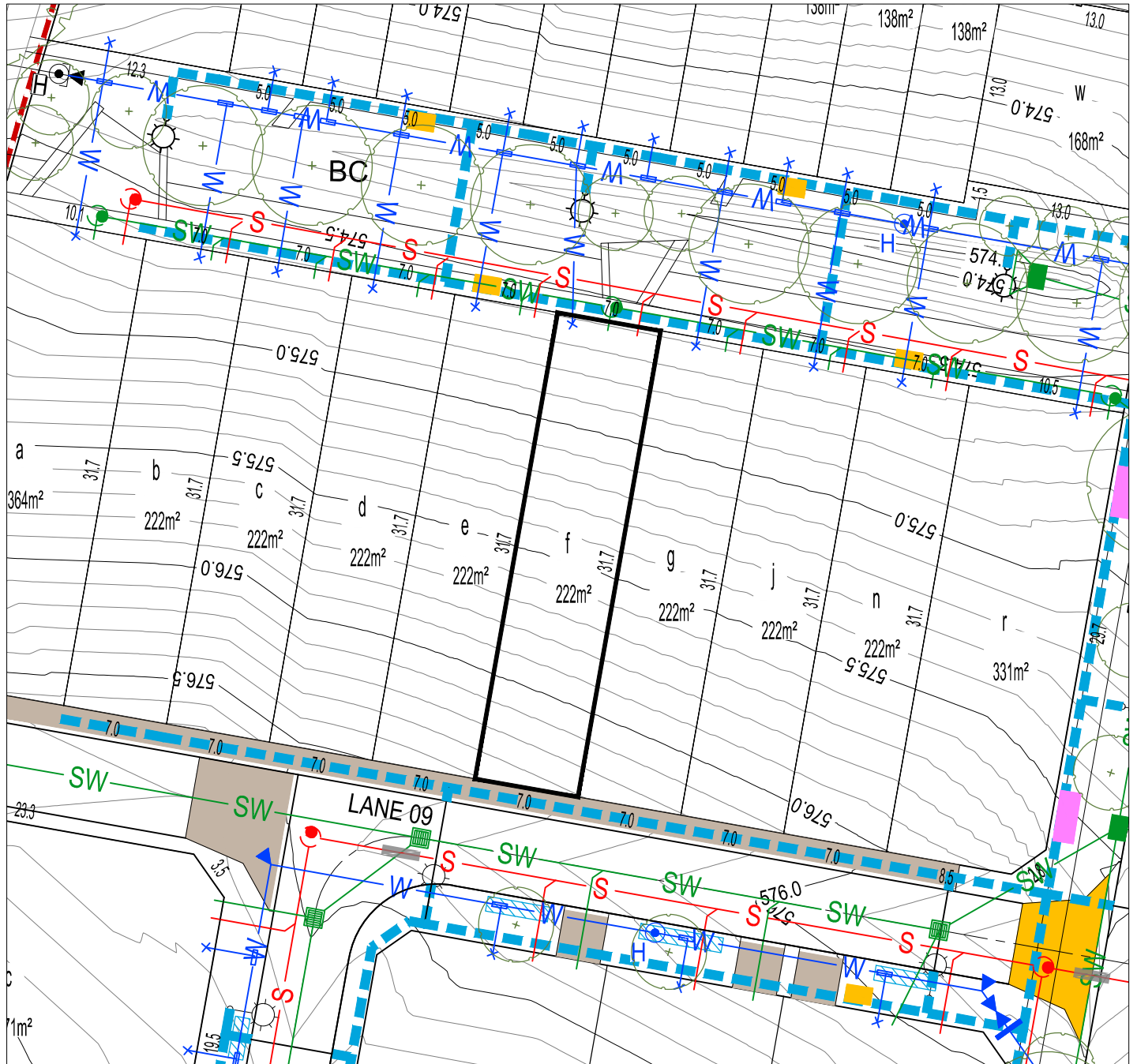
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	550.0 CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

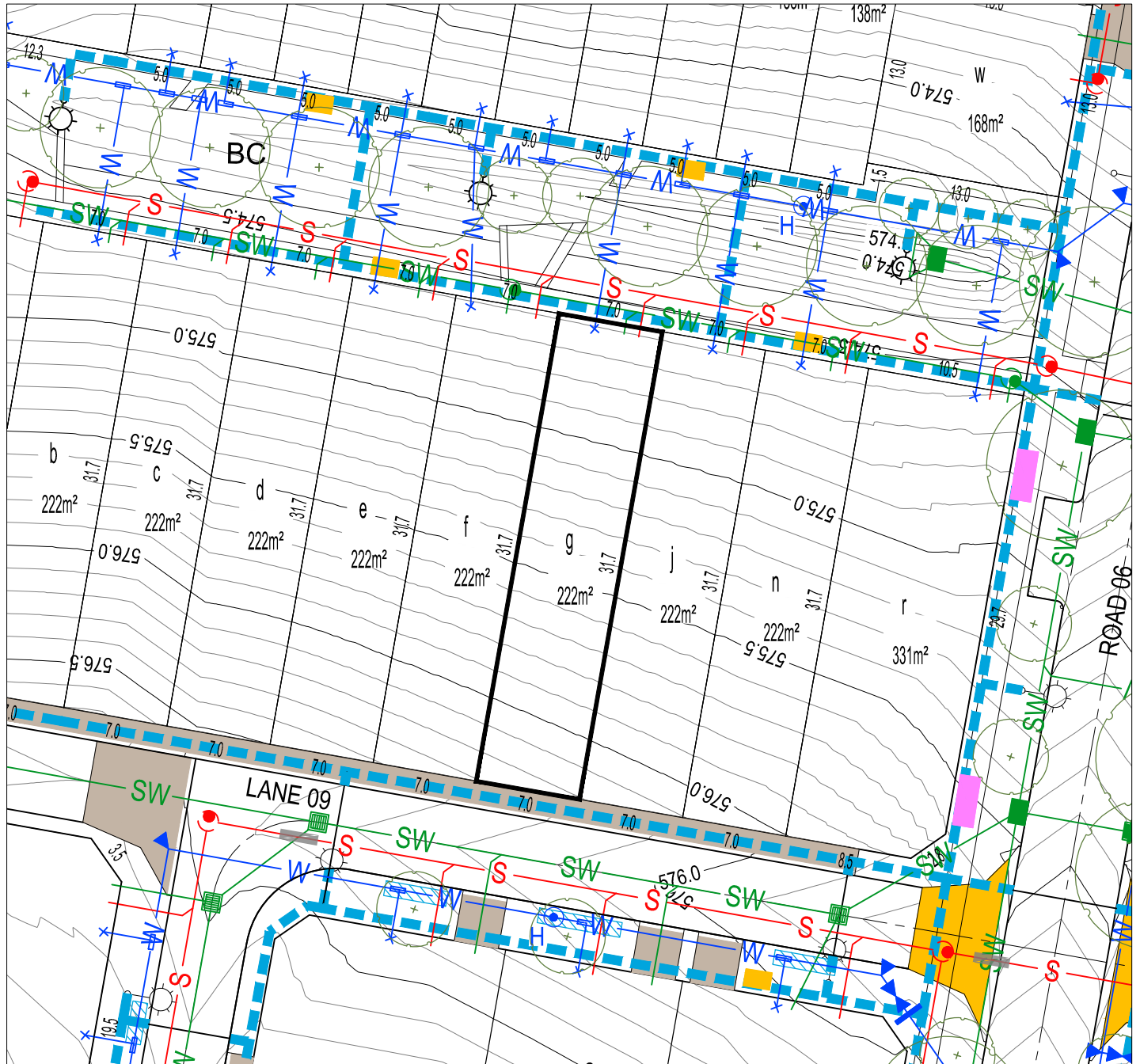
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCa.PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

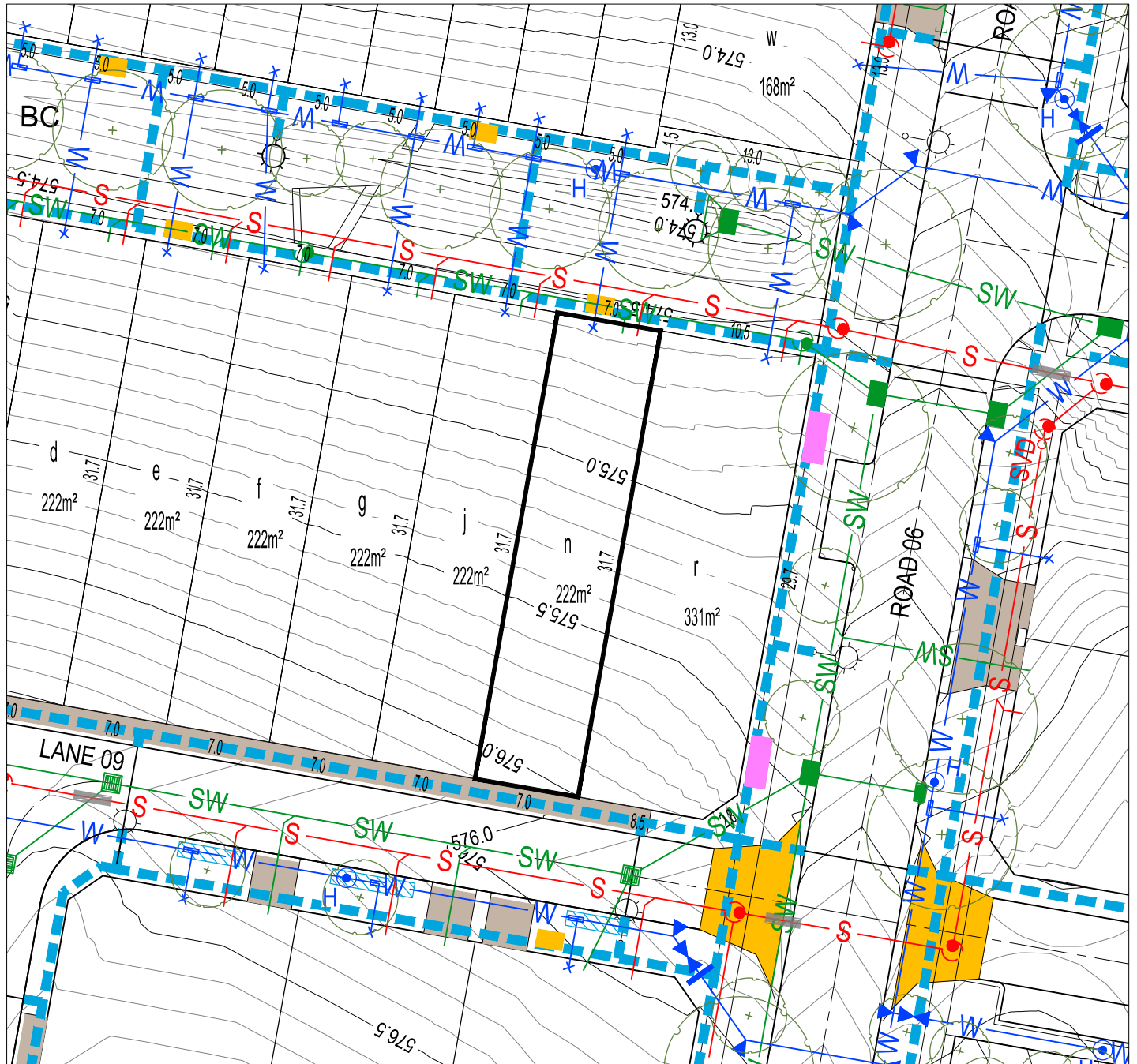
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

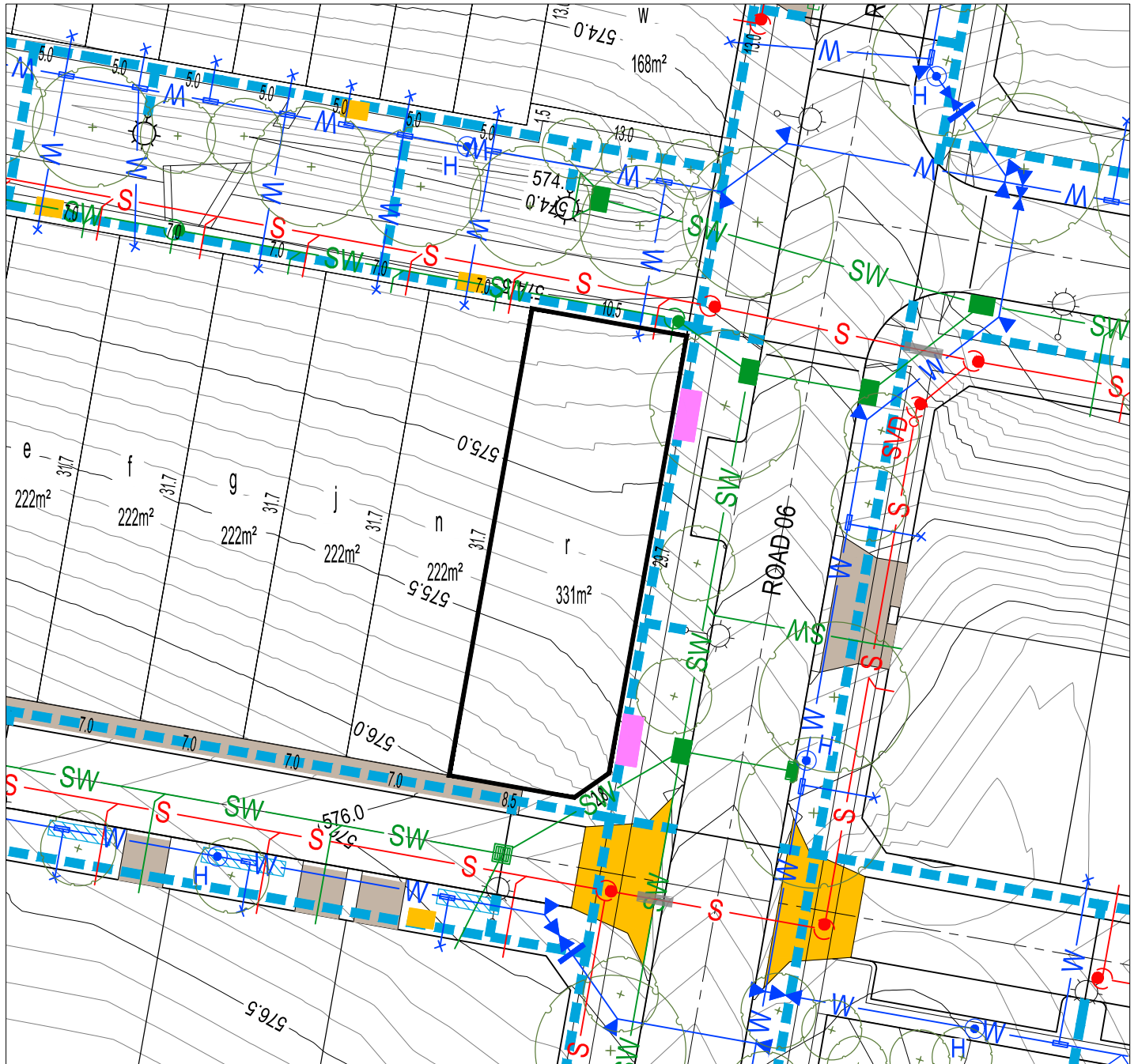
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

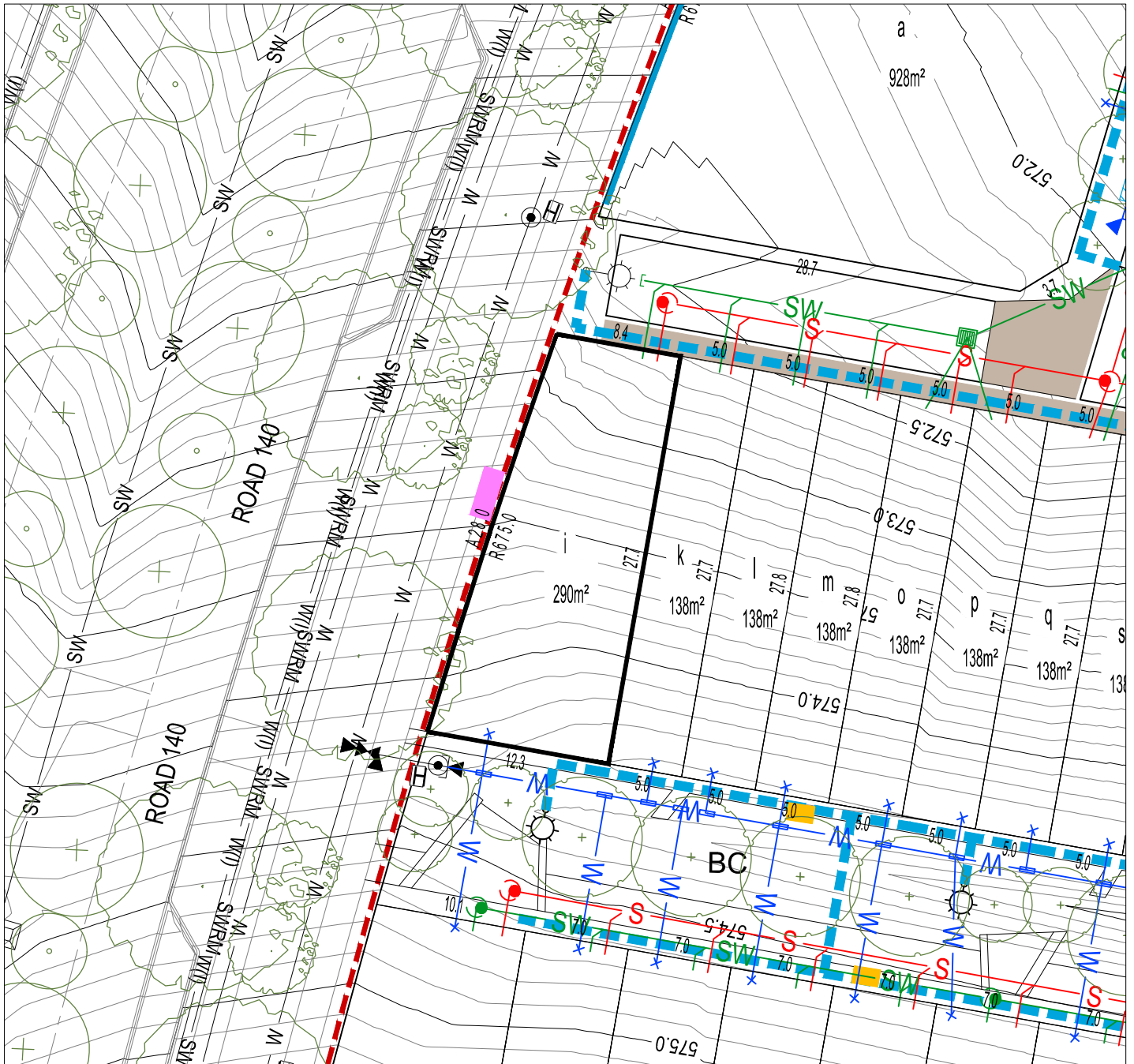
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

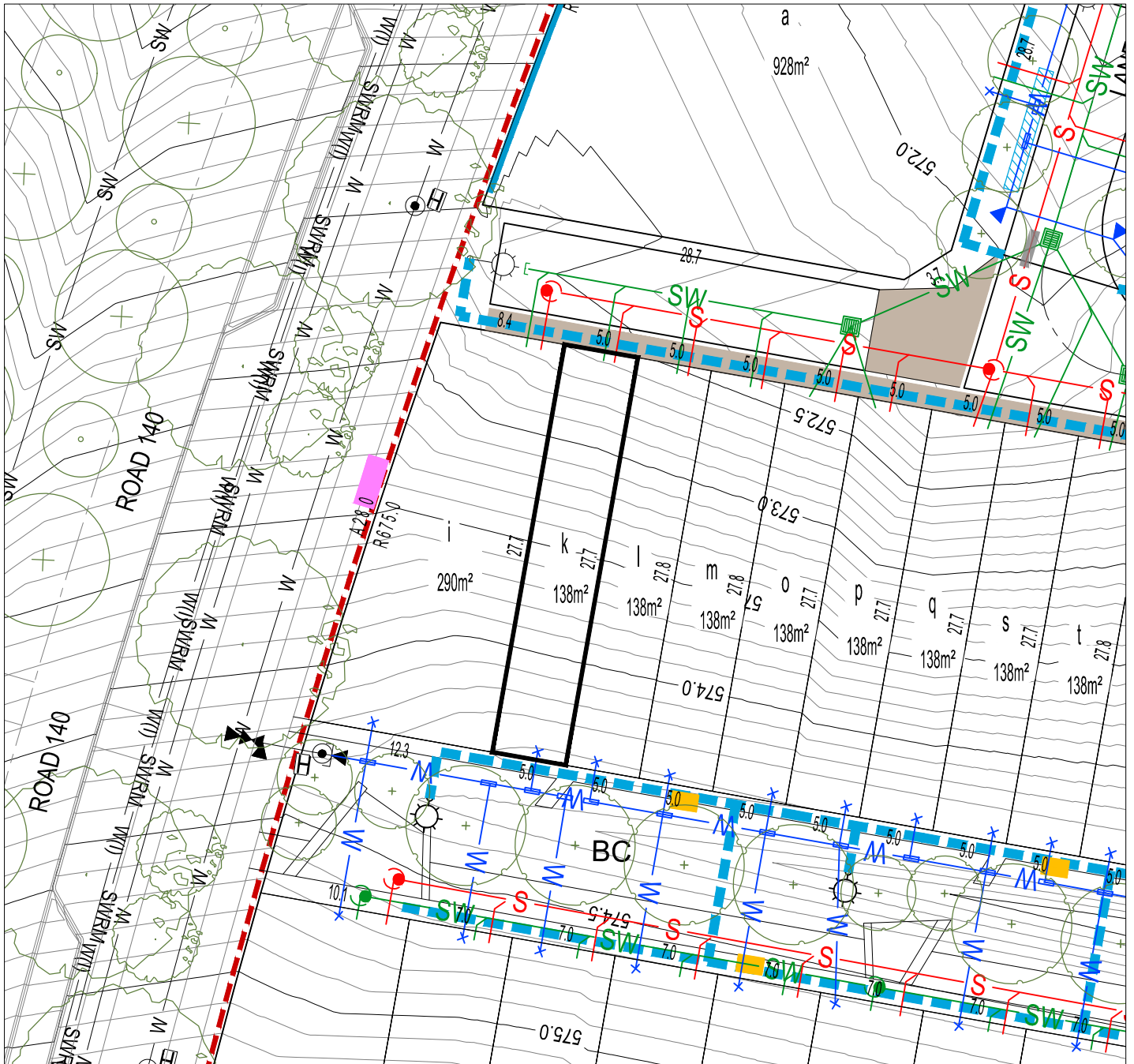
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	550.0 CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		ABOVE GROUND MINIPILLAR
	CONTOUR 0.1m INTERVAL				IN GROUND MINIPILLAR		STREET TREES
	RETAINING WALL						
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

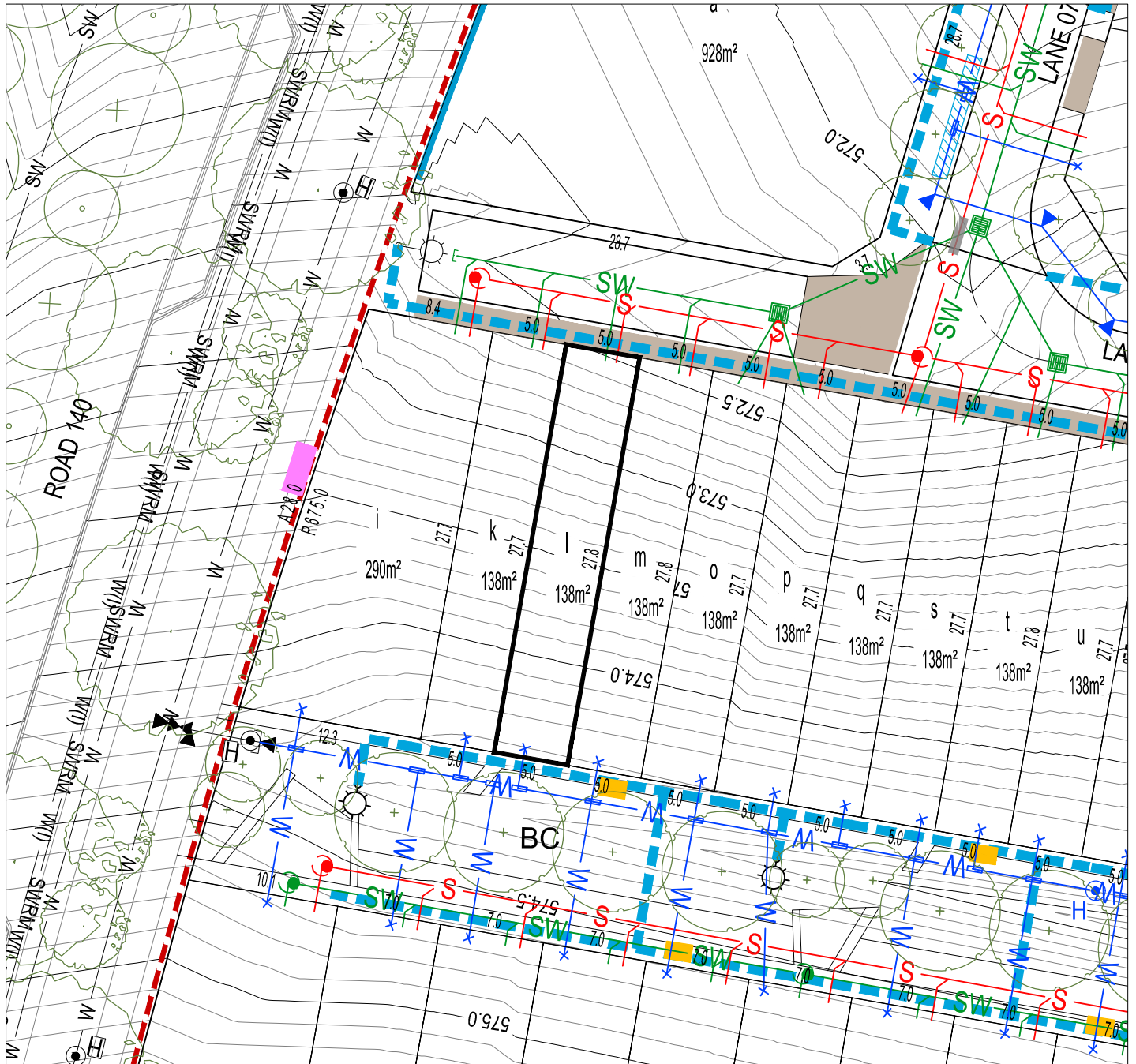
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCa.PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		ABOVE GROUND MINIPILLAR
	CONTOUR 0.1m INTERVAL				IN GROUND MINIPILLAR		STREET TREES
	RETAINING WALL						
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

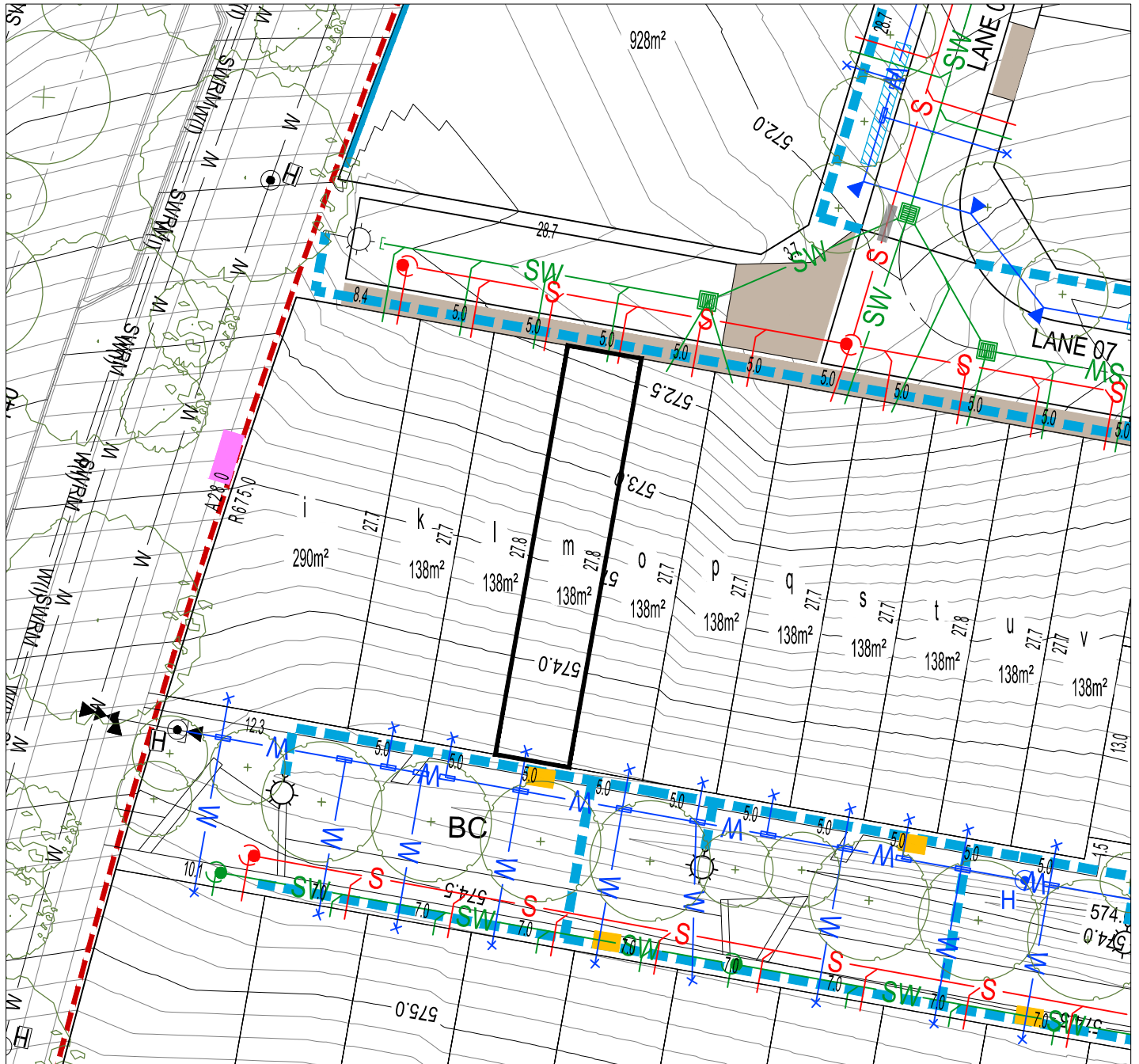
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

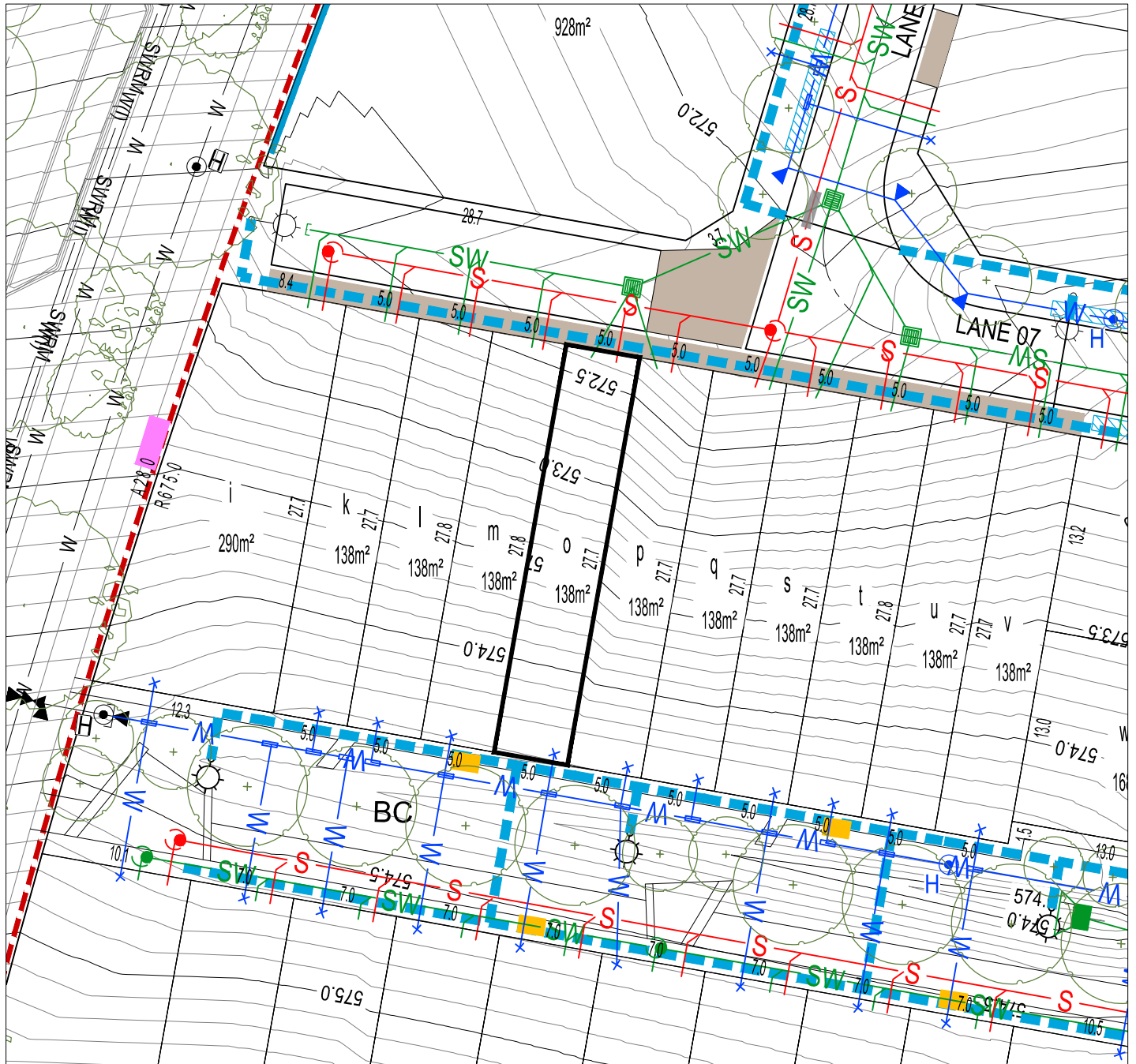
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

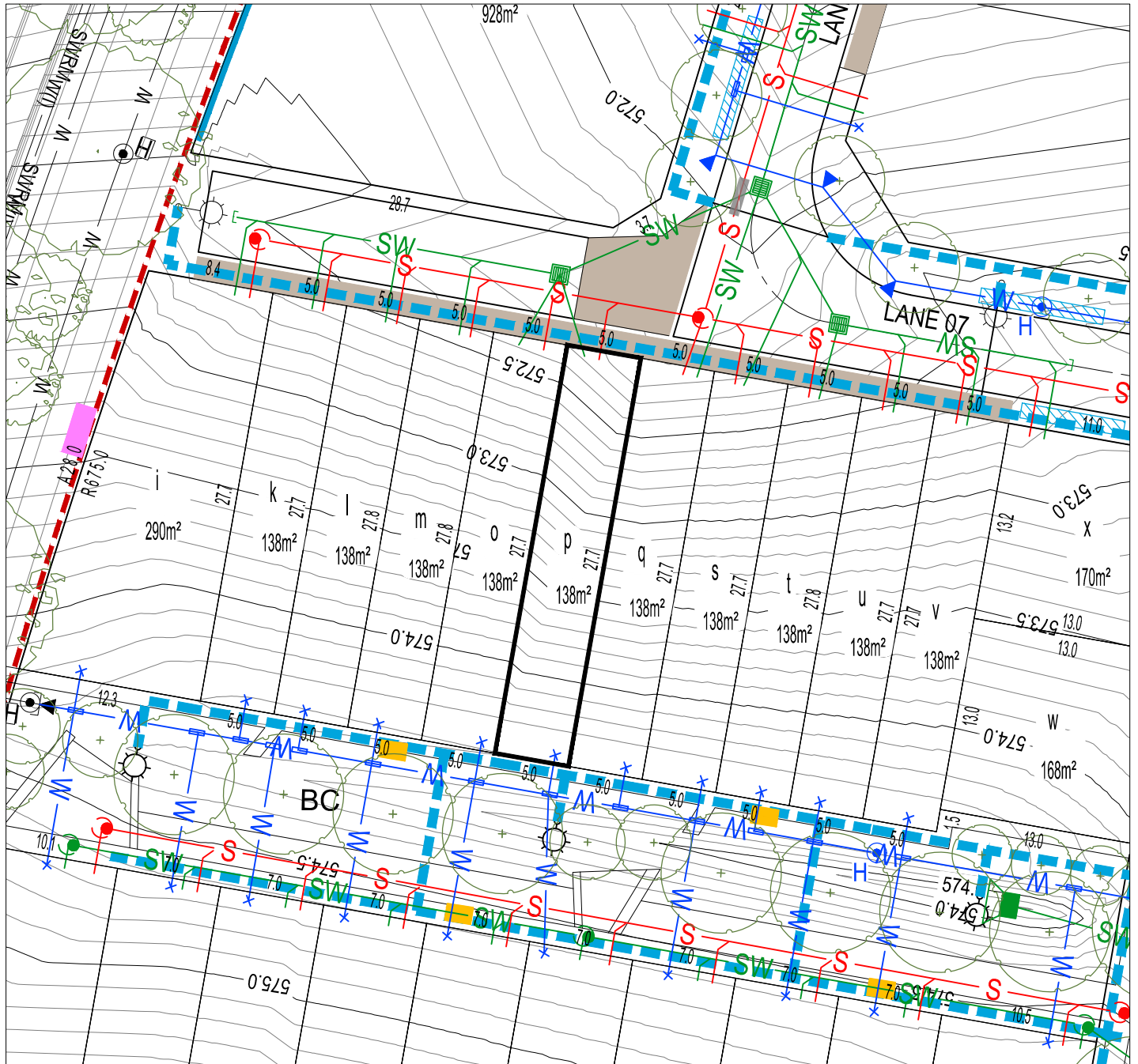
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCa.PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		ABOVE GROUND MINIPILLAR
	CONTOUR 0.1m INTERVAL				IN GROUND MINIPILLAR		STREET TREES
	RETAINING WALL						
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

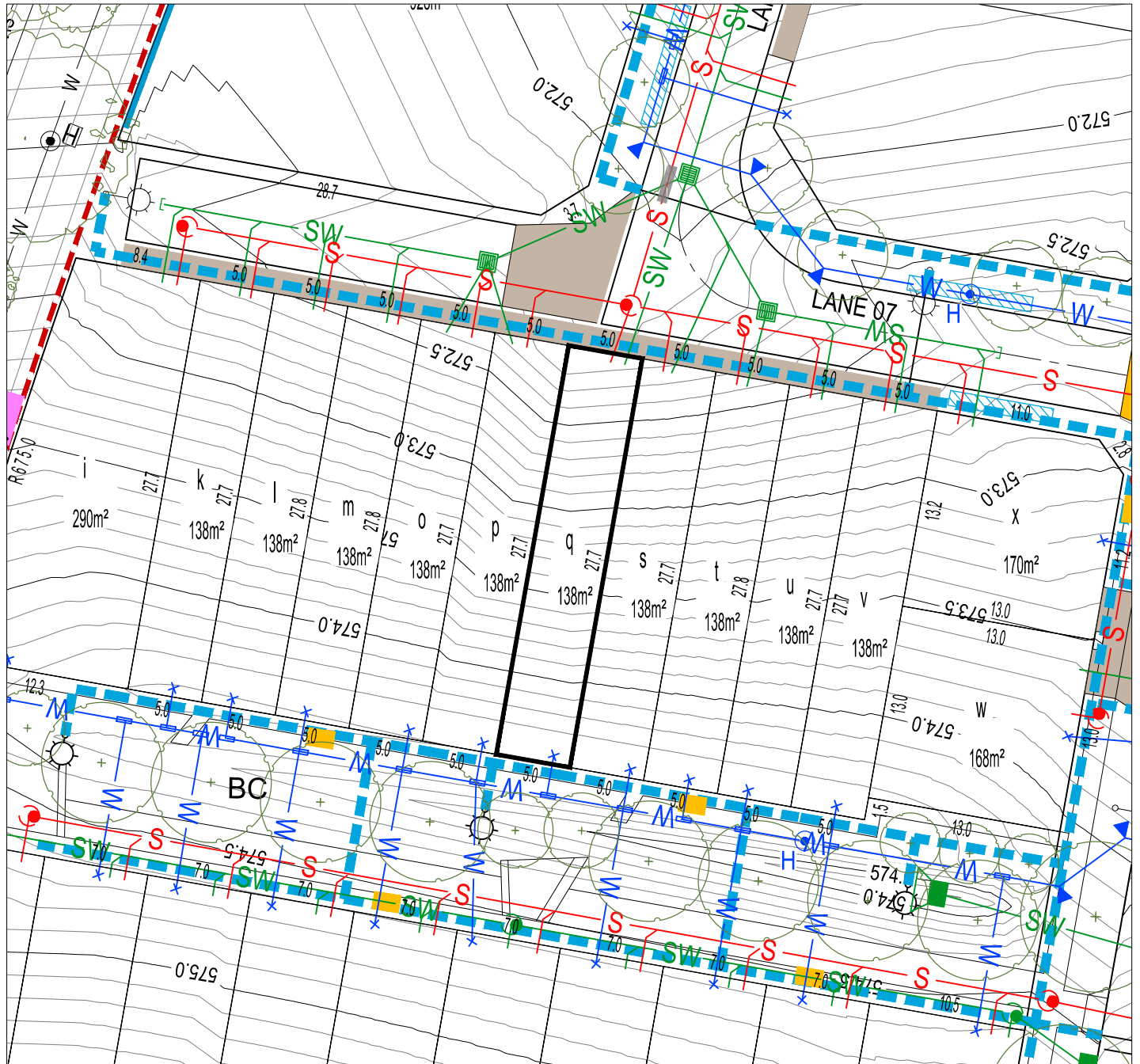
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	550.0 CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		ABOVE GROUND MINIPILLAR
	CONTOUR 0.1m INTERVAL				IN GROUND MINIPILLAR		STREET TREES
	RETAINING WALL						
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

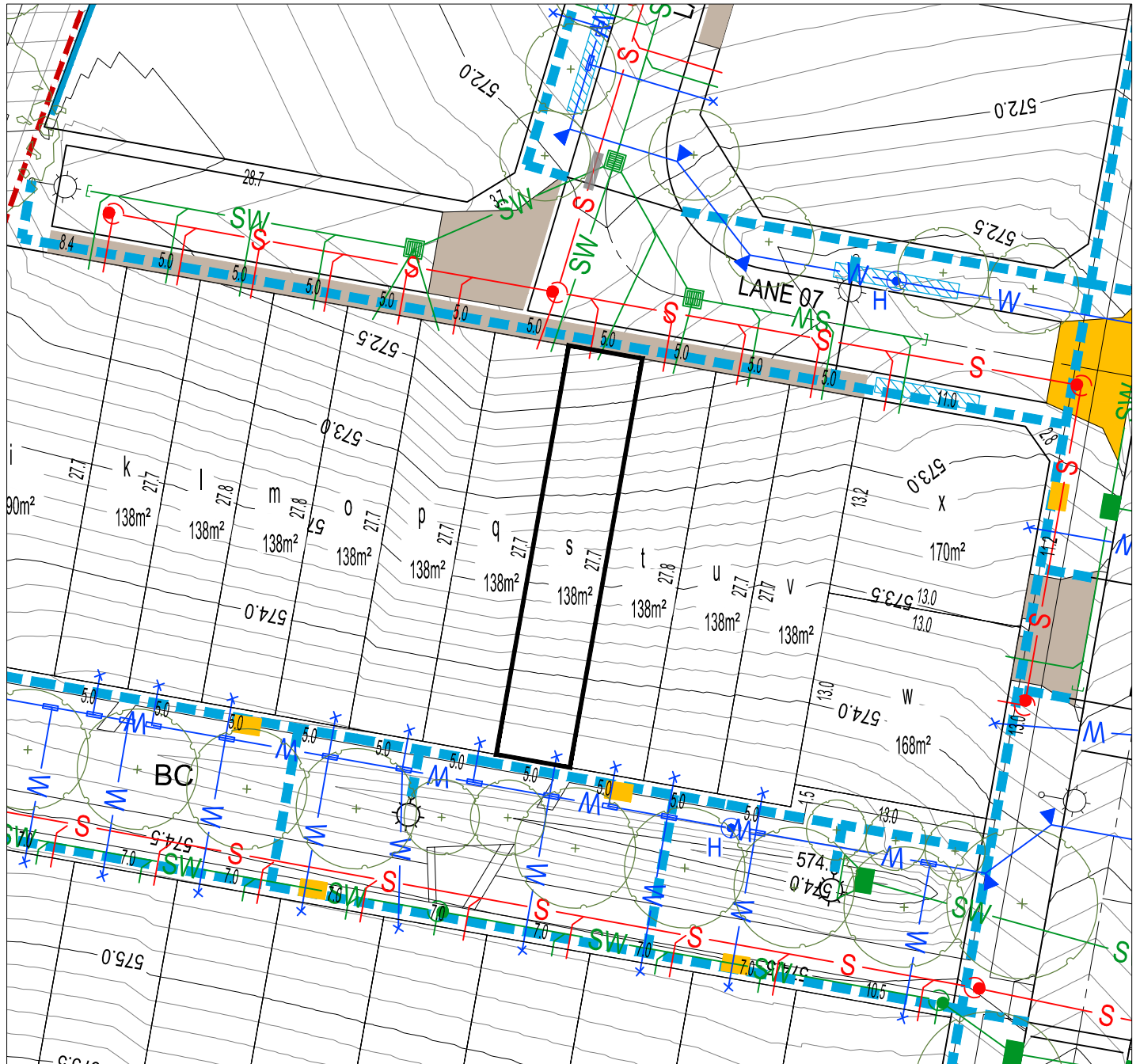
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

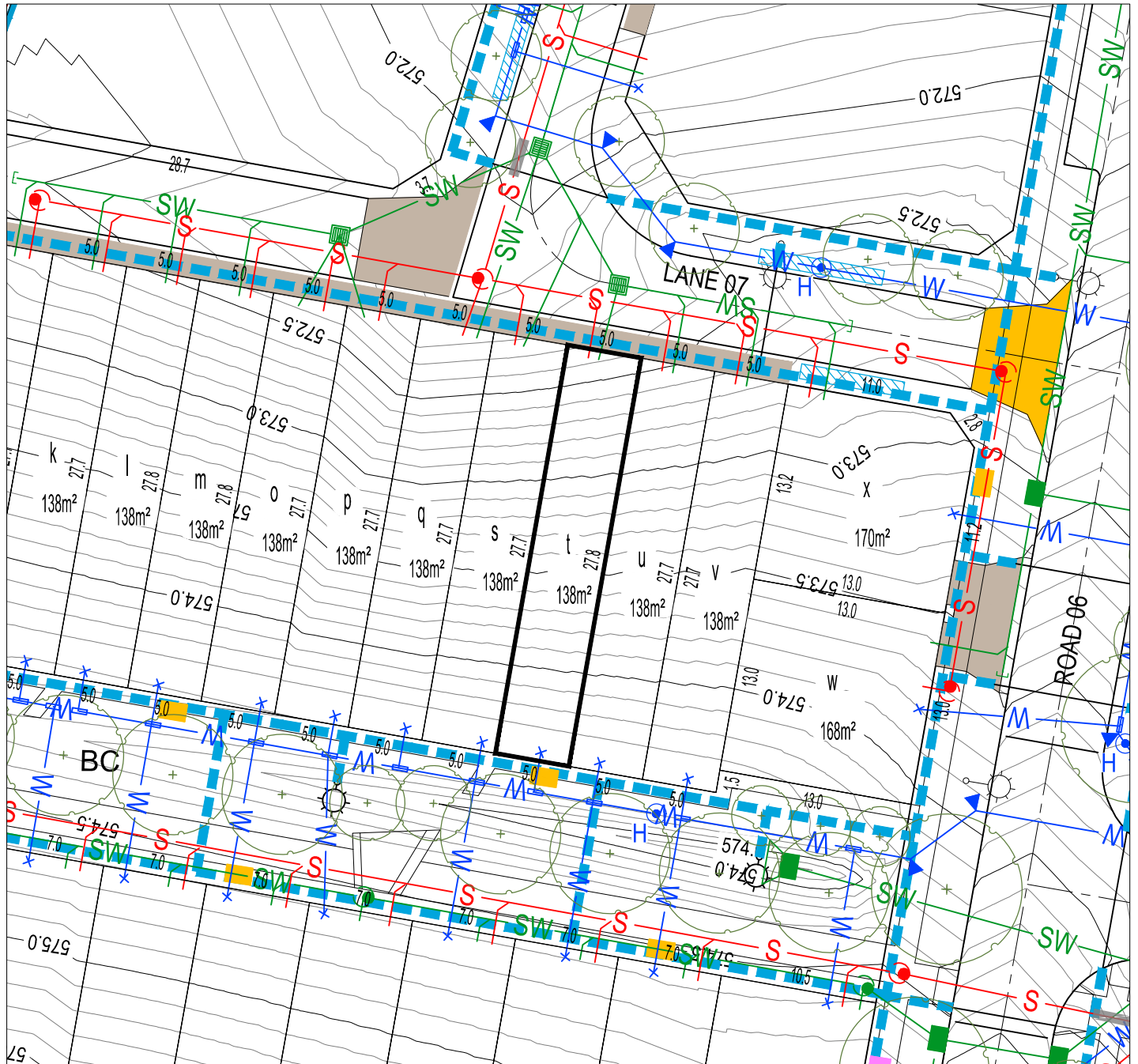
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	550.0 CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

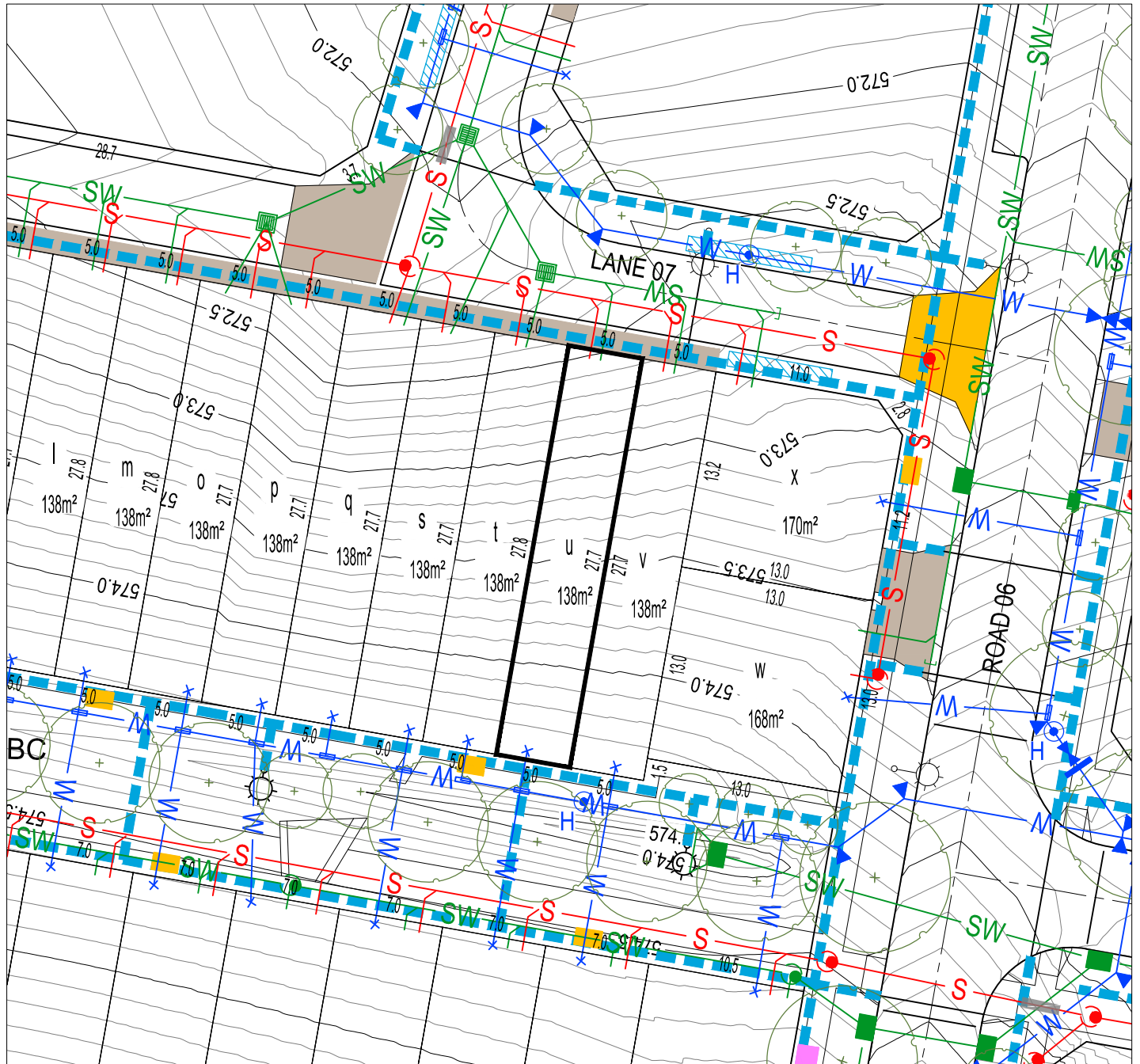
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNC PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

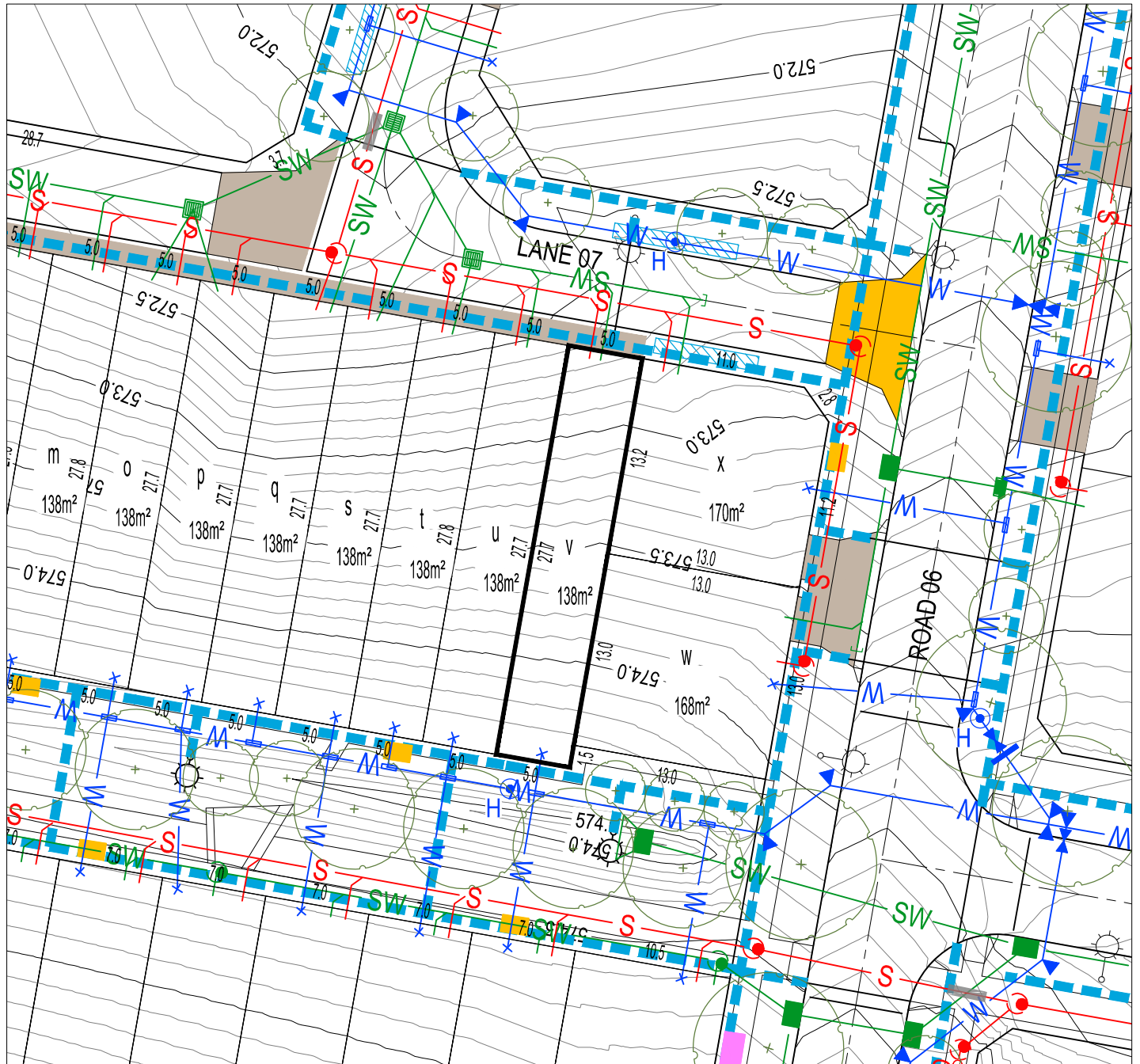
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

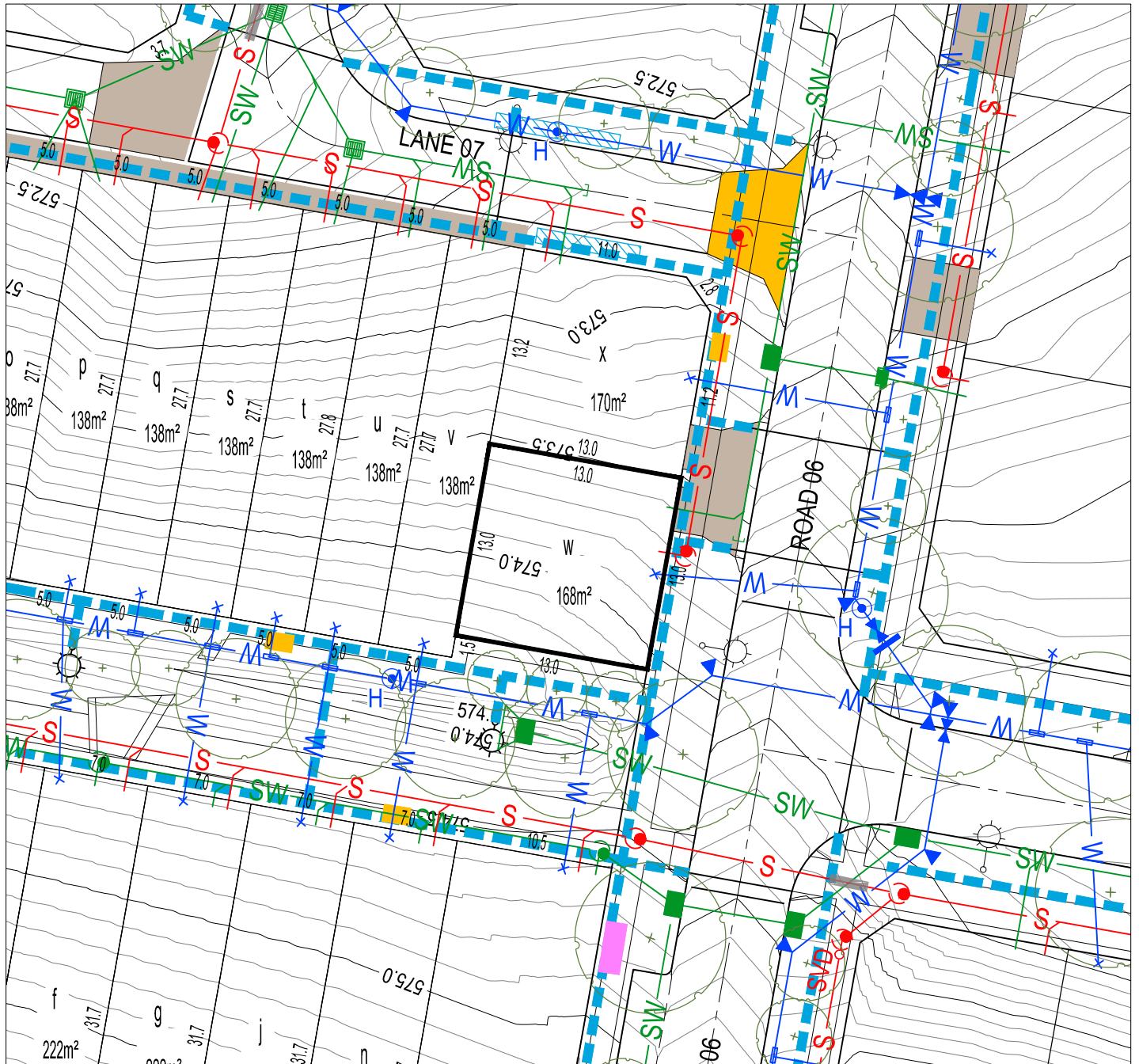
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

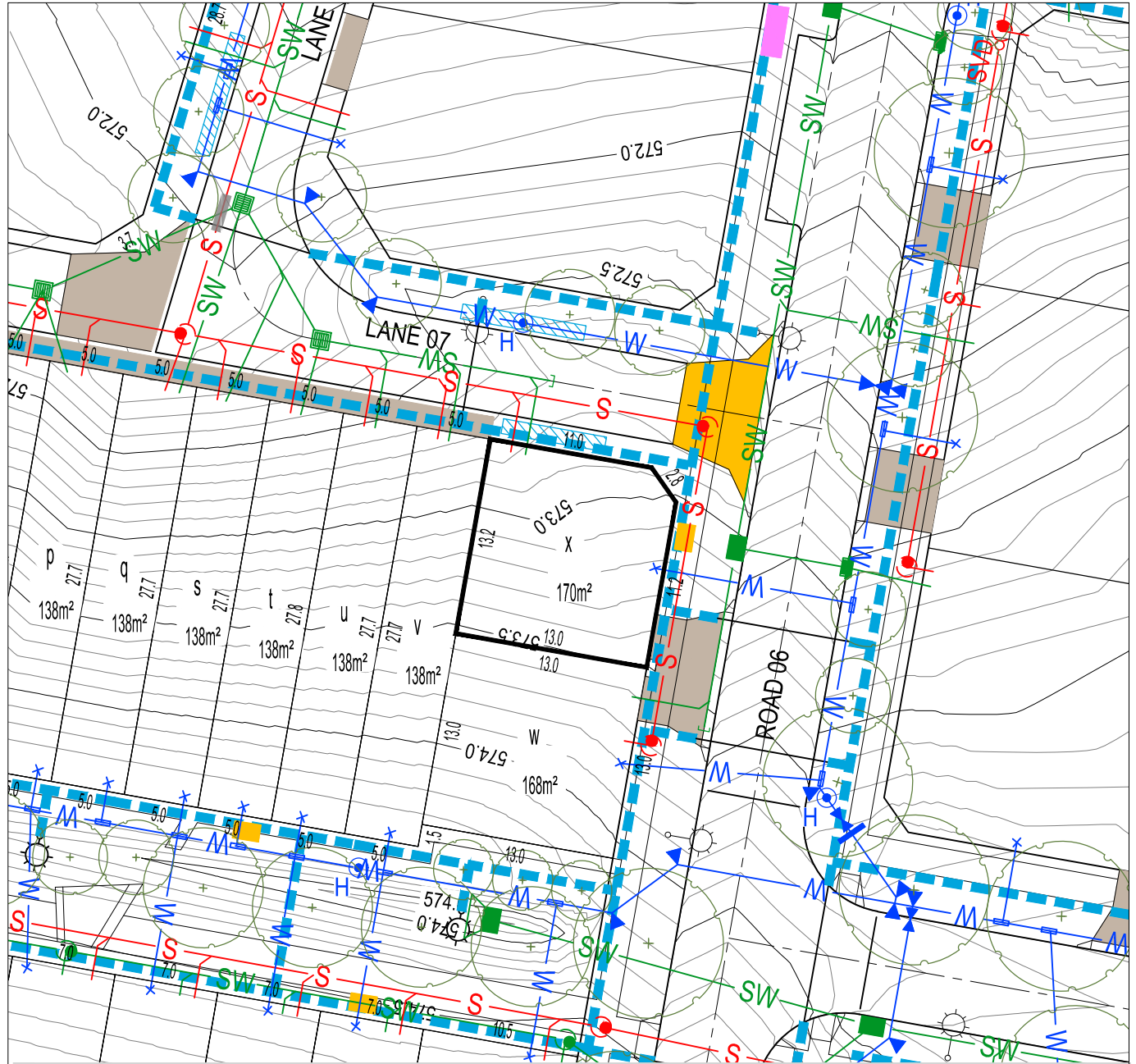
LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCo. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN. REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN.

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

Appendix B

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name	DALE BILLINGHAM
Date	28/7/2025



LEGEND

COMMON LEGEND FOR ALL PLANNING CONTROLS PLANS
NOT ALL ITEMS LISTED WILL APPEAR ON THIS SHEET
PLANNING CONTROL PLAN PROVISIONS AS PER DRAFT
MACNAMARA PRECINCT CODE

MACNAMARA EDP2 BOUNDARY

INDICATIVE FUTURE DEVELOPMENT
SUBJECT TO TRANSMISSION LINE
RELOCATION AND FUTURE EDP SUBMISSION

GENERAL CONTROLS

 LIMITED DEVELOPMENT POTENTIAL
 INTEGRATED DEVELOPMENT PARCE

(S) MANDATORY SURVEILLANCE BLOCK

BLOCKS 500m² TO <550m² SUBJECT TO MIDSIZE BLOCK PROVISIONS

 NOISE AFFECTED BLOCKS


(G) GARAGE MUST BE A MINIMUM OF 1.5M BEHIND THE FRONT BUILDING LINE

 NOMINATED AS REAR BOUNDARY

EASEMENT

 MAXIMUM BUILDING HEIGHT 8.5M FOR PART OF BLOCK WITHIN 9 METRES OF SOUTHERNMOST BOUNDARY

 BLOCK SUBJECT TO COMMUNITY TITLED SCHEME

 GATE, STREET ADDRESS AND LETTERBOX TO BE OFF LANE (AS INDICATED)

 BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHDC

M BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS: WATER SENSITIVE URBAN DESIGN GENERAL CODE. DETENTION AND WATER QUALITY TARGETS HAVE BEEN FULLY MET DOWNSTREAM

2 MINIMUM 2 STORIES

WATER TANK REQUIREMENTS

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (kL)
251 ≤ 350	2
351 ≤ 599	4
600 ≤ 800	8
> 801	10

A PPOS MINIMUM DIMENSIONS 3m x 4m

B PPOS


- MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8M
- MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL

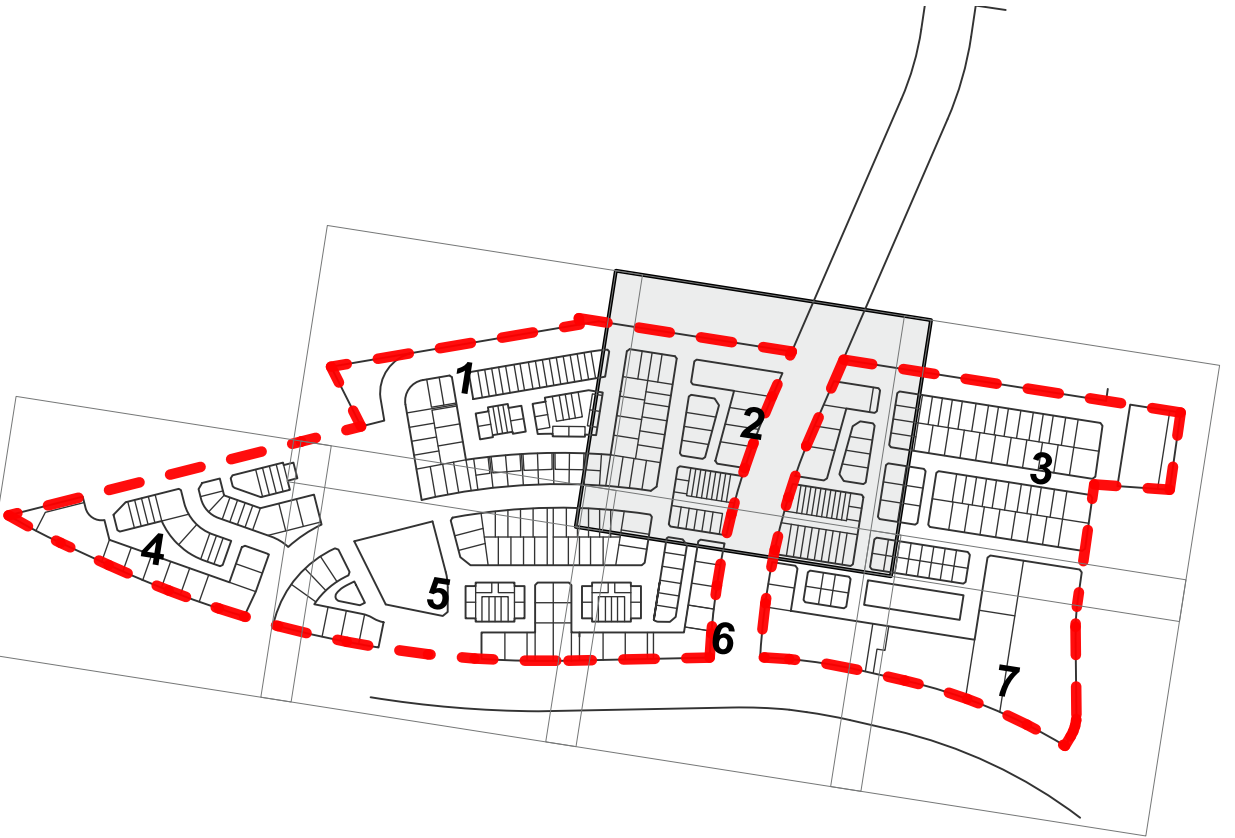
P ONLY ONE ON BLOCK PARKING SPACE REQUIRED

BUILT FORM SETBACKS

MINIMUM BOUNDARY SETBACKS APPLY TO ALL FLOORS EXCEPT SIDE SETBACKS FOR GARAGES AND CARPORTS

3 - MINIMUM SETBACK (METRES)

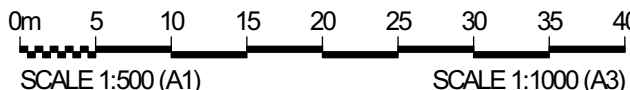
 - ANY PART OF A BUILDING THAT IS SITED OUTSIDE OF THE BUILDING ENVELOPE OR SOLAR BUILDING ENVELOPE IS REQUIRED TO BE BUILT TO THE NOMINATED BOUNDARY FOR THE PURPOSE OF R6 AND R7A OF THE SINGLE DWELLING HOUSING CODE

[illegible]

ESTATE DEVELOPMENT PLAN

DATE: 21/05/2024

SCAL



WAE No

CLIENT/CONSULTANTS	
--------------------	--



Ginninderry

redbox
design group

PLANNING / URBAN DESIGN

Tait Network



Place Logic

PROJECT
MACNAMARA EDP 2

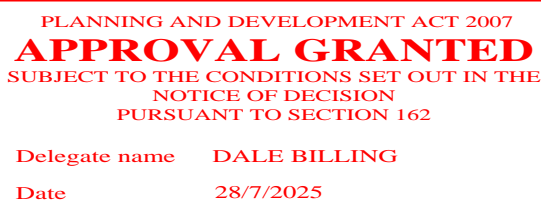
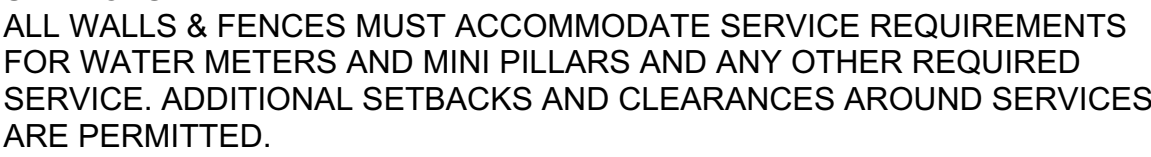
DISCLAIMER
ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION
USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE. NOT FOR CONSTRUCTION UNLESS
STAMPED BY CERTIFYING AUTHORITY





DRAWING TITLE







PLANNING CONTROLS
PLAN SHEET 2 OF 7

PROJECT No.	DRAWING No.	REVISION
21-000393	E1.31.02	C

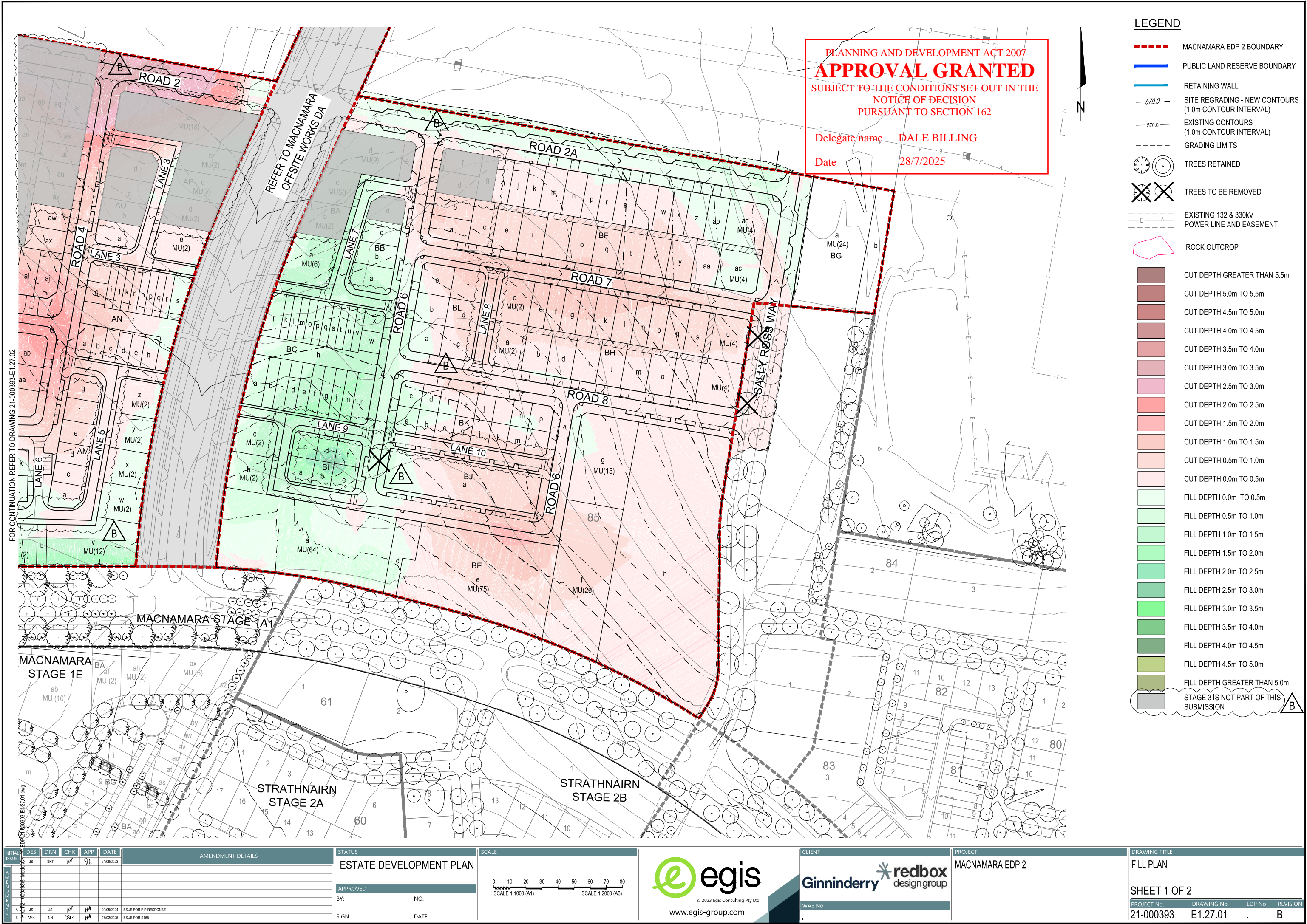
Appendix C



TYPE		MANDATORY FENCING/COURTYARD WALL	MINIMUM BOUNDARY LENGTH	MINIMUM SETBACK	MANDATORY HEIGHT
	F1	Yes	100%	800mm	1.5m
	F2	Yes	50%	0m	1.8m
	F3	Yes	50%	0m	1.5m
	F4	No	50%	0m	1.5m

DESIGN DRAWN CHECK APPROVED DATE							AMENDMENT DETAILS	STATUS	SCALE	WAE No.	PLANNING / URBAN DESIGN	PROJECT	DRAWING TITLE
AMENDMENTS	A	JM	JM	OT	OT	28/08/23	ISSUE FOR DA	ESTATE DEVELOPMENT PLAN		CLIENT/CONSULTANTS   	 	MACNAMARA EDP 2	FENCING CONTROLS PLAN SHEET 1 OF 1
	B	JM	JM	BR	BR	15/05/24	ISSUE FOR FIR RESPONSE						
	C	JM	JM	BR	BR	10/2/25	ISSUE FOR S'165						
								</					

Appendix D



Appendix E

Landscape Concept Planting Palette

Edible Plants

Below is a list of edible plants that Ginninderry encourages you to plant when landscaping your garden.

Code	Botanical Name	Common Name	Mature Plant Size	Container Size	Spacing
Small Trees					
Mad	<i>Malus domestica</i>	Apple	3m x 3m	100L	-
Pyc	<i>Prunus cerasifera</i>	Cherry Plum	5m x 5m	100L	-
PrpA	<i>Prunus persica</i> 'Anzac'	Australian Peach	4m x 4m	100L	-
PrsAB	<i>Prunus salicina</i> 'Angelina Burdett'	Plum	4-10m x 2-4m	100L	-
Large Shrubs					
Cil	<i>Citrus limon</i> 'Meyer'	Meyer Lemon	3m x 2m	25L/300mm	1.5/m ²
Fes	<i>Feijoa sellowiana</i>	Pineapple Guava	4m x 2m	25L/300mm	1.5/m ²
Mia	<i>Microcitrus australasica</i>	Finger Lime	4m x 2m	25L/300mm	1.5/m ²
Small Shrubs					
Roo	<i>Rosemarinus officinalis</i>	Rosemary	0.5-1.5m x 1m	5L/200mm	3/m ²
Vac	<i>Vaccinium corymbosum</i>	Blueberry - Blue Rose	1-2m x 1-2m	5L/200mm	3/m ²
Cij	<i>Citrus japonica</i>	Kumquat	2-3m x 3m	5L/200mm	3/m ²
Groundcovers/ Climbers					
Fra	<i>Fragaria ananassa</i>	Strawberry	0.3m H	2.5L/150mm	4/m ²

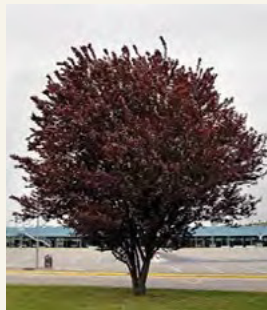
Small Trees



Malus domestica



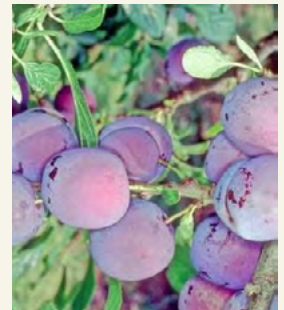
Malus domestica – fruit



Prunus cerasifera



Prunus persica



Prunus salicina - fruit

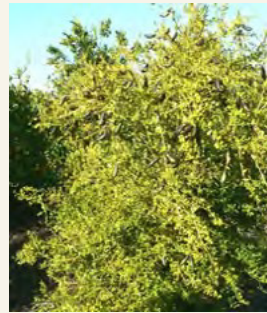
Large Shrubs



Citrus limon

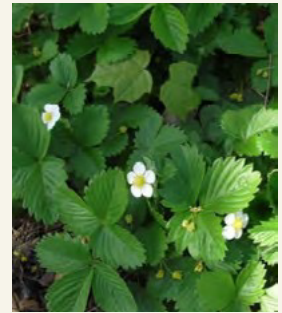


Feijoa sellowiana



Microcitrus australasica

Groundcovers



Fragaria ananassa

Small Shrubs



Rosemarinus officinalis



Vaccinium corymbosum



Citrus japonica

Landscape Concept Planting Palette

Native Plants

Below is a list of native plants that Ginninderry encourages you to plant when landscaping your garden.

Code	Botanical Name	Common Name	Mature Plant Size	Container Size	Spacing
Large Shrubs (Hedging)					
BNm	<i>Banksia marginata</i>	Silver Banksia	5m x 3m	25L/300mm	1.5/m ²
BNsp	<i>Banksia spinulosa</i>	Hairpin Banksia	3m x 3m	25L/300mm	1.5/m ²
Cbf	<i>Callistemon 'Great Balls of Fire'</i>	Bottlebrush	2m x 2m	25L/300mm	1.5/m ²
Ckp	<i>Callistemon 'King's Park Special'</i>	Bottlebrush	2-4m x 3-4m	25L/300mm	1.5/m ²
Cra	<i>Callistemon viminalis 'Red Alert'</i>	Creek Bottlebrush	4m x 2m	25L/300mm	1.5/m ²
Gpp	<i>Grevillea 'Poorinda Peter'</i>	Poorinda Peter Grevillea	3m x 4m	25L/300mm	1.5/m ²
Gpq	<i>Grevillea 'Poorinda Queen'</i>	Poorinda Queen Grevillea	3m x 4m	25L/300mm	1.5/m ²
Gho	<i>Grevillea 'Red Hooks'</i>	Red Hooks Grevillea	3m x 4m	25L/300mm	1.5/m ²
Small Shrubs					
Anf	<i>Anigozanthus 'Bush Gem'</i>	Kangaroo Paw	0.6m x 1m	5L/200mm	3/m ²
Bkl	<i>Baeckea linifolia</i>	Flax-leaf Heath Myrtle	1-2.5m x 0.5-2m	5L/200mm	3/m ²
Gco	<i>Grevillea confertifolia</i>	Dense-leaf Grevillea	2m x 1-2m	5L/200mm	3/m ²
Gla	<i>Grevillea lanigera</i>	Wooly Grevillea	0.5-1m x 1-2m	5L/200mm	3/m ²
Wab	<i>Westingia sp. 'Aussie Box'</i>	Coast Rosemary	1.5m x 1.5m	5L/200mm	3/m ²
Small Shrubs (Hedging to Frontage)					
Cvc	<i>Callistemon viminalis 'Captain Cook'</i>	Bottlebrush		5L/200mm	3/m ²
Etm	<i>Philotheca myoporoides</i>	Long-leaf Waxflower	1.5-2m x 2m	5L/200mm	3/m ²
Gba	<i>Grevillea baueri</i>	Bauer's Grevillea	0.6-1.5m x 2m	5L/200mm	3/m ²
Wew	<i>Westingia fruticosa 'Grey Box'</i>	Coastal Rosemary	2m x 4m	5L/200mm	3/m ²
Groundcover/Climbers					
Acc	<i>Acacia cognata 'limelight'</i>	Dwarf River Wattle	0.5m x 1m	2.5L/150mm	4/m ²
Asfp	<i>Astartea fascicularis</i>	Winter Pink	0.3m x 1.5m	2.5L/150mm	4/m ²
BNsp	<i>Banksia spinulosa 'Birthday Candle'</i>	Birthday Candle Banksia	0.5m x 1.5m	2.5L/150mm	4/m ²
BRm	<i>Brachyscome multifida</i>	Rock Daisy	0.3m x 1.5m	2.5L/150mm	4/m ²
Coc	<i>Convolvulus cneorum</i>	Bush Morning Glory	0.6m x 1m	2.5L/150mm	4/m ²
Gbr	<i>Grevillea sp. 'Bronze Rambler'</i>	Bronze Rambler Grevillea	0.3m x 2m	2.5L/150mm	4/m ²

Hav	Hardenbergia violacea	Purple Coral Pea	3m x 1m	2.5L/150mm	4/m ²
Myp	Myoporum parvifolium	Creeping Boobialla	0.2m x 2m	2.5L/150mm	4/m ²
RHs	Rhagodia spinescens 'Aussie Flat Bush'	Aussie Flat Bush	0.3-0.5m x 1m	2.5L/150mm	4/m ²
Vih	Viola hederacea	Australian Native Violet	0.1m x 0.5m	2.5L/150mm	4/m ²
Grasses					
Dlc					
Dic	Dianella caerulea 'Cassa Blue'	Cassa Blue Flax Lily	0.7m x 1m	Growtube	6/m ²
DII	Dianella longifolia	Pale Flax Lily	0.6m x 0.4m	Growtube	6/m ²
Dlr	Dianella revoluta	Black Anther Flax Lily	0.5m x 0.5m	Growtube	6/m ²
Dlt	Dianella tasmanica	Blue Flax Lily	0.7m x 1m	Growtube	6/m ²
LDIC	Lomandra longifolia 'Cassica'	Cassica Mat Rush	1.2m x 0.8m	Growtube	6/m ²
LDIT	Lomandra longifolia 'Tanika'	Tanika Mat Rush	0.5m x 0.5m	Growtube	6/m ²
POAIE	Poa labillardieri	Tussock Grass	0.6m x 0.4m	Growtube	6/m ²
THt	Themeda triandra	Kangaroo Grass	1m x 0.5m	Growtube	6/m ²

Large Shrubs (Hedging)



Banksia marginata



Banksia spinulosa



Callistemon 'Balls of Fire'



Callistemon 'Kings Park'



Callistemon 'Red Alert'



Grevillea 'Poorinda Peter'



Grevillea 'Poorinda Queen'

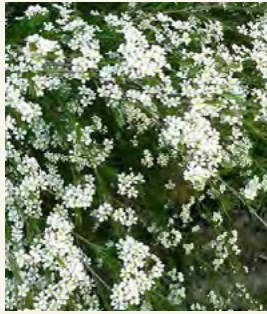


Grevillea 'Red Hooks'

Small Shrubs



Angiozanthus 'Bush Gem'



Baeckea linifolia



Grevillea confertifolia



Grevillea lanigerav

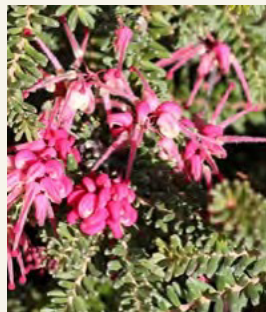
Small Shrubs (Hedging to Frontage)



Callistemon viminalis



Philotheca myoproides



Grevillea baueri

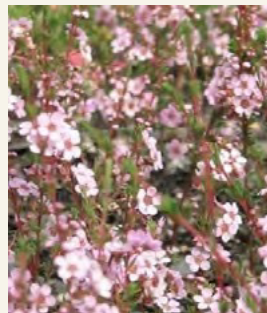


Westringia 'Grey Box'

Groundcover/Climbers



Acacia cognata 'Limelight'



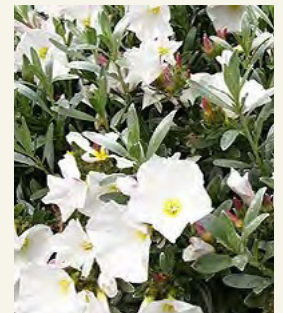
Astartea fascicularis



Banksia 'Birthday Candles'



Brachyscome multifida



Convolvulus cneorum



Grevillea 'Bronze Rambler'



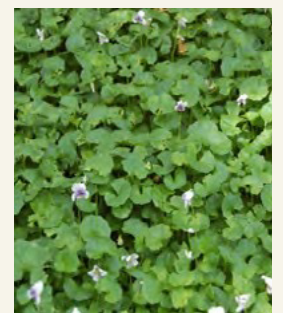
Hardenbergia violacea



Myoporum parvifolium



Rhagodia spinescens

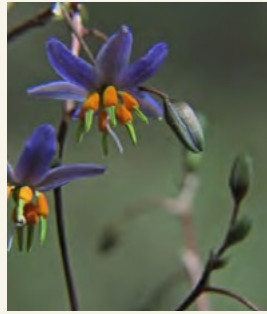


Viola hederacea

Grasses



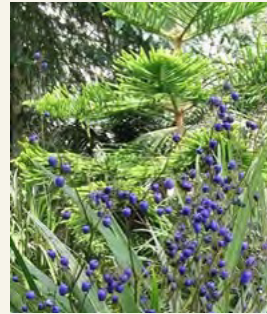
Camellia sasanqua



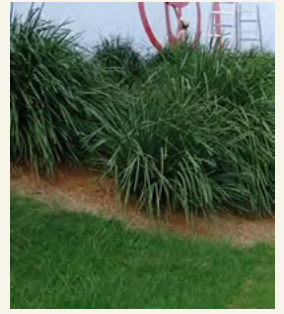
Cupressus sp.



Michelia figo



Thuja sp.



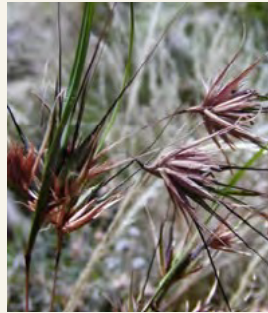
Viburnum tinus



Lomandra 'Tanika'



Poa labillardieri



Themeda triandra

Landscape Concept Planting Palette

Exotic Plants

Below is a list of exotic plants that Ginninderry encourages you to plant when landscaping your garden.

Code	Botanical Name	Common Name	Mature Plant Size	Container Size	Spacing
Small trees/Large Shrubs					
Acb	Acer buergeranum	Trident Maple	5m x 3m	100L	
Acj	Acer japonicum	Japanese Maple	5m x 5m	100L	
Cil	Citrus x Lemon	Lemon	-	25L/300mm	1.5/m2
Cra	Cordyline Australis	Cabbage Tree	2m x 1.5m	5L/200mm	3/m ²
CNc	Cornus capitata	Evergreen Dogwood	3m x 3m	25L/300mm	1.5/m ²
Dyk	Diospyros kaki	Japanese Persimmon	6-8m x 6m	100L	-
Dia	Dicksonia antarctica	Soft Tree Fern	2-4m x 2.5m	25L/300mm	-
Kop	Koelreuteria paniculata	Golden Rain Tree	5m x 8m	100L	-
Lai	Lagerstroemia indica	Crepe Myrtle	3m x 2m	25L/300mm	-
MGI	Magnolia grandiflora 'Little Gem'	-	6m x 3m	100L	-
Mgso	Magnolia soulangeana	Saucer Magnolia	4m (h)	100L	-
Mgst	Magnolia stellata	Star Magnolia	4-6m x 4.5m	100L	-
Pcp	Prunus cerasifera 'Pissardii'	Cherry Plum	5m x 5m	100L	-
Pcs	Prunus cerasifera 'Spire'	Black Cherry Plum	6m x 2m	100L	-
Pyc	Pyrus calleryana	Ornamental Pear	11m x 4m	100L	-
Large Shrubs (Hedging)					
CAMs	Camellia sasanqua	Sasanqua Camellia	4m x 3m	25L/300mm	1.5/m ²
Cup	Cupressus sp.	Cypress Sp.	-	25L/300mm	-
Eiv	Escallonia sp. 'Iveyi'	Escallonia	3m x 3m	25L/300mm	1.5/m ²
MIl	Michelia figo	Port Wine Magnolia	2m x 2m	25L/300mm	1.5/m ²
Pitt	Pittosporum tenuifolium 'Green Pillar'	Pittosporum	3m x 2m	25L/300mm	1.5/m2
Pla	Prunus laurocerasus	Cherry Laurel	5m x 3m	25L/300mm	-
Plu	Prunus lusitanica	Portugese Laurel	4m x 2m	25L/300mm	-
THj	Thuja Sp.	Cedar Sp.	-	25L/300mm	-
VIO	Viburnum odoratissimum	Sweet Viburnum	4-6m x 4m	25L/300mm	1.5/m ²
VIT	Viburnum tinus	Lauristinus	3m x 3m	25L/300mm	1.5/m ²

Small Shrubs					
Azs	Azalea sp.	Azalea		5L/200mm - 25L/300mm	3/m ²
Bey	Beschorneria yuccoides	Mexican Lily	1-1.5m x 1-2m	25L/300mm	-
Epp	Escallonia sp. 'Pink Pixie'	Escallonia	0.8m x 0.8m	5L/200mm	3/m ²
LVA	Lavandula angustifolia	White English Lavender	0.3m x 0.3m	5L/200mm	3/m ²
LOn	Lonicera nitida	Dwarf Honeysuckle	2m x 3m	25L/300mm	1.5/m ²
NNn	Nandina domestica 'Nana'	Dwarf Screen Bamboo	0.3m x 2m	5L/200mm	3/m ²
Small Shrubs (Hedging to Frontage)					
ABg	Abelia grandiflora	Glossy Abelia	1.5m x 1.2m	5L/200mm	3/m ²
BUs	Buxus sempervirens	English Box	2m x 1m	5L/200mm	3/m ²
CYt	Choisya ternata	Mexican Orange Blossom	1.5m x 1.5m	25L/300mm	1.5/m ²
Erk	Escallonia sp. 'Red Knight'	Escallonia	1.5m x 1.5m	25L/300mm	1.5/m ²
GAf	Gardenia augusta 'Florida'	Gardenia Florida	1-1.5m x 1m	5L/200mm	3/m ²
Groundcovers/Climbers					
AJr	Ajuga reptans	Common Bugle	0.1m x 0.3m	2.5L/150mm	4/m ²
COPk	Coprosma x kirkii	Mirror Plant	0.6m x 1m	2.5L/150mm	4/m ²
HEc	Hedera canariensis (green form only)	Canary Island Ivy	n/a	2.5L/150mm	4/m ²
HYc	Hypericum calycinum	Aaron's Beard	0.3m x 0.5m	2.5L/150mm	4/m ²
RSI	Rosmarinus lavandulaceus	Creeping Rosemary	0.3m x 0.3m	2.5L/150mm	4/m ²
TRj	Trachelospermum jasminoides	Chinese Star Jasmine	n/a	2.5L/150mm	4/m ²
Vla	Vitis amurensis	Ornamental Grape Vine	n/a	2.5L/150mm	-
Grasses					
LIEg	Liriope 'Evergreen Giant'	Evergreen Giant Lily	0.4m x 0.7m	Growtube	6/m ²
Opn	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	0.2m x 0.8m	Growtube	6/m ²

Grasses



Liriope 'Evergreen Giant'

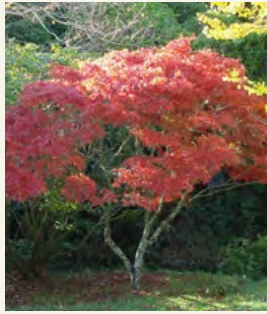


Ophiopogon 'Nigrescens'

Small Trees/ Large Shrubs



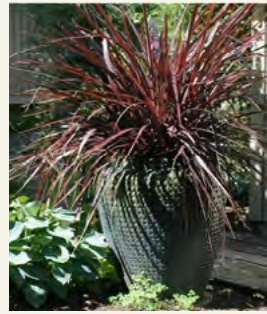
Acer buergerianum



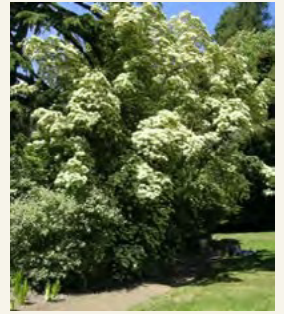
Acer japonicum



Citrus x limon



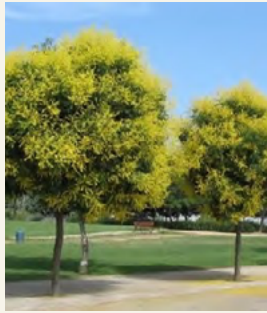
Cordyline australis



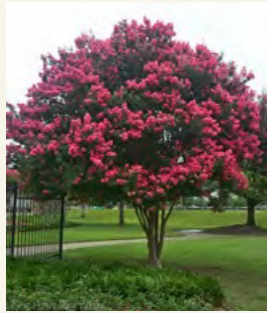
Cornus capitata



Diospyros kaki



Koelreuteria paniculata



Lagerstroemia indica



Magnolia grandiflora



Magnolia soulangeana



Magnolia stellata



Prunus cerasifera 'Pissardii'



Prunus cerasifera 'Spire'



Ptrus calleryana

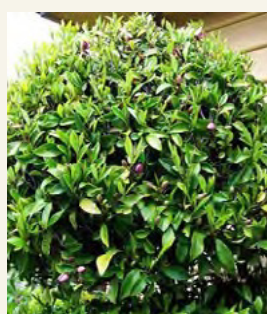
Large Shrubs (Hedging)



Camellia sasanqua



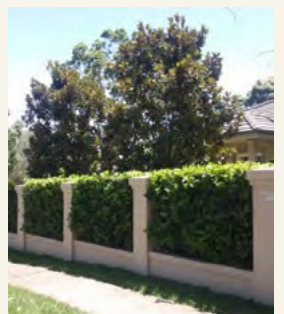
Cupressus sp.



Michelia figo



Thuja sp.



Viburnum tinus

Small Shrubs



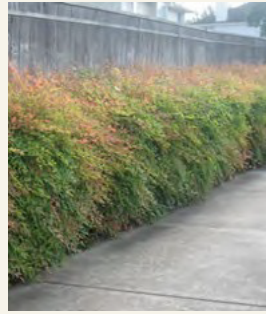
Camellia sasanqua



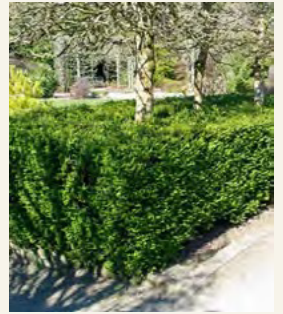
Cupressus sp.



Michelia figo

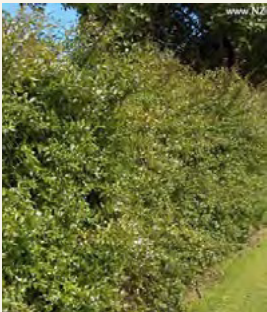


Thuja sp.



Viburnum tinus

Small Shrubs (Hedging to Frontage)



Abelia grandiflora



Buxus sempervirens

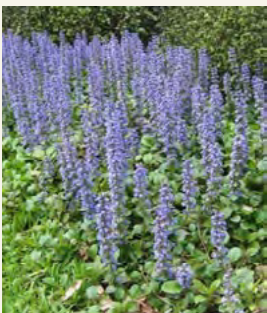


Choisya ternata



Gardenia augusta

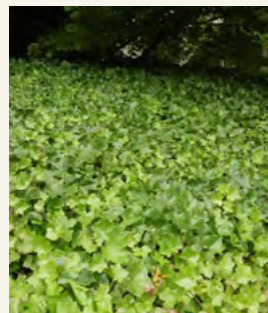
Groundcover/Climbers



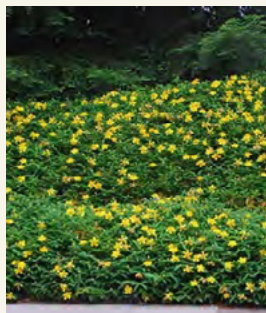
Ajuga reptans



Coprosma x 'Kirkii'



Hedera canariensis



Hypericum calycinum



Rosmarinus lavandulaceus



Trachelospermum sp.



Vitis amurensis

Pest Plant List

Not for use at Ginninderry

Botanical Name	Common Name	Reason
<i>Ailanthus altissima</i>	Tree of Heaven	Declared pest plant of the ACT
<i>Alnus glutinosa</i>	Black Alder	Declared pest plant of the ACT
<i>Alternanthera philoxeroides</i>	Alligator Weed	Declared pest plant of the ACT
<i>Andropogon gayanus</i>	Gamba Grass	Declared pest plant of the ACT
<i>Annona glabra</i>	Pond Apple	Declared pest plant of the ACT
<i>Anredera cordifolia</i>	Madeira Vine	Declared pest plant of the ACT
<i>Asparagus aethiopicus</i>	Ground Asparagus Fern	Declared pest plant of the ACT
<i>Asparagus africanus</i>	Climbing Asparagus Fern	Declared pest plant of the ACT
<i>Asparagus asparagoides</i>	Bridal Creeper	Declared pest plant of the ACT
<i>Asparagus asparagoides</i> Western Cape Form	Bridal Creeper – Western Cape Form	Declared pest plant of the ACT
<i>Asparagus declinatus</i>	Bridal Veil	Declared pest plant of the ACT
<i>Asparagus plumosa</i>	Climbing Asparagus Fern	Declared pest plant of the ACT
<i>Asparagus scandens</i>	Asparagus Fern	Declared pest plant of the ACT
<i>Austrocylindropuntia</i> (ALL species)	Coral Cacti	Declared pest plant of the ACT
<i>Cabomba caroliniana</i>	Cabomba	Declared pest plant of the ACT
<i>Carduus nutans</i>	Nodding Thistle	Declared pest plant of the ACT
<i>Carduus pycnocephalus</i>	Slender Thistle	Declared pest plant of the ACT
<i>Carduus tenuiflorus</i>	Slender Thistle	Declared pest plant of the ACT
<i>Carthamus lanatus</i>	Saffron Thistle	Declared pest plant of the ACT
<i>Celtis australis</i>	Nettle Tree	Declared pest plant of the ACT
<i>Centaurea maculosa</i>	Spotted Knapweed	Declared pest plant of the ACT
<i>Chrysanthemoides monilifera</i>	Bitou Bush / Boneseed	Declared pest plant of the ACT
<i>Cortaderia jubata</i>	Pampas Grass	Declared pest plant of the ACT
<i>Cortaderia selloana</i>	Pampas Grass	Declared pest plant of the ACT
<i>Cotoneaster franchettii</i>	Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster glaucophyllus</i>	Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster pannosus</i>	Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster salicifolius</i>	Willow-leaf Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster simonsii</i>	Cotoneaster	Declared pest plant of the ACT

Botanical Name	Common Name	Reason
<i>Crataegus monogyna</i>	Hawthorn	Declared pest plant of the ACT
<i>Cryptostegia grandiflora</i>	Rubber Vine	Declared pest plant of the ACT
<i>Cylindropuntia</i> (ALL species)	Pear Cacti	Declared pest plant of the ACT
<i>Cytisus</i> (ALL species)	Broom species	Declared pest plant of the ACT
<i>Echium plantagineum</i>	Paterson's Curse	Declared pest plant of the ACT
<i>Echium vulgare</i>	Viper's Bugloss	Declared pest plant of the ACT
<i>Eichornia crassipes</i>	Water Hyacinth	Declared pest plant of the ACT
<i>Equisetum</i> species	Horsetail	Declared pest plant of the ACT
<i>Eragrostis curvula</i>	African Love Grass	Declared pest plant of the ACT
<i>Genista</i> (ALL species)	Broom species	Declared pest plant of the ACT
<i>Gymnocoronis spilanthoides</i>	Senegal Tea Plant	Declared pest plant of the ACT
<i>Hedera helix</i>	English Ivy	Declared pest plant of the ACT
<i>Hieracium aurantiacum</i>	Orange Hawkweed	Declared pest plant of the ACT
<i>Hieracium pilosella</i>	Mouse-ear Hawkweed	Declared pest plant of the ACT
<i>Hymenachne amplexicaulis</i>	Hymenachne	Declared pest plant of the ACT
<i>Hypericum perforatum</i>	St John's Wort	Declared pest plant of the ACT
<i>Jatropha gossypifolia</i>	Bellyache Bush	Declared pest plant of the ACT
<i>Kochia scoparia</i>	Kochia	Declared pest plant of the ACT
<i>Lagarosiphon major</i>	Lagarosiphon	Declared pest plant of the ACT
<i>Lantana camara</i>	Lantana	Declared pest plant of the ACT
<i>Ligustrum lucidum</i>	Broad-leaf privet	Declared pest plant of the ACT
<i>Ligustrum sinense</i>	Narrow-leaf privet	Declared pest plant of the ACT
<i>Lonicera japonica</i>	Japanese Honeysuckle	Declared pest plant of the ACT
<i>Lycium ferocissimum</i>	African Boxthorn	Declared pest plant of the ACT
<i>Macfadyena unguis-cati</i>	Cat's Claw Creeper	Declared pest plant of the ACT
<i>Mimosa pigra</i>	Mimosa	Declared pest plant of the ACT
<i>Miscanthus sinensis</i> (ALL varieties)	Chinese Fairy Grass	Declared pest plant of the ACT
<i>Myriophyllum aquaticum</i>	Parrot's Feather	Declared pest plant of the ACT
<i>Nasella tenuissima</i>	Mexican Feather Grass	Declared pest plant of the ACT
<i>Nassella charruana</i>	Lobed Needlegrass	Declared pest plant of the ACT
<i>Nassella neesiana</i>	Chilean Needle Grass	Declared pest plant of the ACT
<i>Nassella trichotoma</i>	Serrated Tussock	Declared pest plant of the ACT
<i>Onopordum acanthium</i>	Scotch Thistle	Declared pest plant of the ACT
<i>Onopordum illyricum</i>	Illyrian Thistle	Declared pest plant of the ACT
<i>Opuntia</i> (ALL species) (excludes <i>O. ficus-indica</i>)		
Prickly Pears	Declared pest plant of the ACT	
<i>Parkinsonia aculeata</i>	Parkinsonia	Declared pest plant of the ACT
<i>Parthenium hysterophorus</i>	Parthenium Weed	Declared pest plant of the ACT
<i>Pennisetum setaceum</i>	African Fountain Grass	Declared pest plant of the ACT

Botanical Name	Common Name	Reason
<i>Phyllostachys aurea</i>	Yellow Bamboo	Declared pest plant of the ACT
<i>Pinus radiata</i>	Radiata Pine	Declared pest plant of the ACT
<i>Pistia stratiotes</i>	Water Lettuce	Declared pest plant of the ACT
<i>Populus alba</i>	White Poplar	Declared pest plant of the ACT
<i>Populus nigra</i> 'Italica'	Lombardy Poplar	Declared pest plant of the ACT
<i>Prosopis</i> spp.	Mesquite	Declared pest plant of the ACT
<i>Pyracantha angustifolia</i>	Firethorn	Declared pest plant of the ACT
<i>Pyracantha coccinea</i>	Scarlet Firethorn	Declared pest plant of the ACT
<i>Pyracantha fortuneana</i>	Firethorn	Declared pest plant of the ACT
<i>Robinia pseudoacacia</i>	False Acacia	Declared pest plant of the ACT
<i>Rosa rubiginosa</i>	Sweet Briar, Briar Rose	Declared pest plant of the ACT
<i>Rubus fruticosus</i> (aggregate) All species except for the permitted cultivars: <i>R. armeniacus</i> and <i>R. ulmifolius</i> species hybrid <i>R. armeniacus</i> species hybrid <i>R. ursinus</i> and <i>R. armeniacus</i> species hybrid	All Blackberry except for the permitted cultivars: Black Satin, Chester Thornless, Dirksen Loch Ne and Chehale.	Declared pest plant of the ACT
<i>Sagittaria platyphylla</i>	Sagittaria	Declared pest plant of the ACT
<i>Salix</i> ALL species of willow, except for the permitted species: <i>Salix babylonica</i> <i>S. babylonica</i> <i>S. caladendron</i> <i>S. reichardtii</i>	All Willows except for the permitted species: Weeping Willow Weeping Willow Pussy Willow Sterile Pussy Willow	Declared pest plant of the ACT
<i>Salvinia molesta</i>	Salvinia	Declared pest plant of the ACT
<i>Senecio madagascariensis</i>	Fireweed	Declared pest plant of the ACT
<i>Solanum elaeagnifolium</i>	Silverleaf Nightshade	Declared pest plant of the ACT
<i>Sorbus</i> sp.	Service Tree, Rowan	Declared pest plant of the ACT
<i>Spartium junceum</i>	Spanish Broom	Declared pest plant of the ACT
<i>Tamarix aphylla</i>	Athel Pine	
<i>Toxicodendron succedaneum</i>	Rhus Tree	Declared pest plant of the ACT
<i>Ulex europaeus</i>	Gorse	Declared pest plant of the ACT
<i>Vinca major</i>	Periwinkle	Declared pest plant of the ACT
<i>Xanthium occidentale</i>	Noogoora Burr	Declared pest plant of the ACT
<i>Xanthium spinosum</i>	Bathurst Burr	Declared pest plant of the ACT
Landscaping Plant Species		
<i>Agapanthus</i> species	Agapanthus	Multiple varieties where the seed is easily distributed and forms dense monocultures in conservation areas

Botanical Name	Common Name	Reason
Nandina domestica	Sacred Bamboo	Berries toxic to birds, seed easily distributed into the conservation zone
Photinia species	Photinia	Seed easily distributed into conservation zone
Wisteria sinensis	Chinese Wisteria	Spread by seed, particularly along established waterways

Housing Development Requirements Application Form

Design Application Form

Please fill in and submit to designs@ginninderry.com

(A Design re-submission administration fee will apply after the 1st approval)

Property details

Block/ Section	
Block size	

Purchaser details

Name	
Phone	
Mobile	
Email	

Designer details

Name	
Company	
Phone	
Mobile	
Email	

Builder details

Name	
Company	
Phone	
Mobile	
Email	

Contact us:

E: designs@ginninderry.com

P: 1800 316 900

Required documentation:

1. Site plan @ 1:200

- Overall Building Footprint with setback dimensions to the boundaries
- North point site contours
- Services and Easements
- Location of all AC, HWS, RWT, Solar Battery, Fan units, clothes lines
- Extent of retaining walls
- Location and dimensions of (PPOS)
- Finished floor levels for the house and garage
- Area schedule of the dwelling including block size / POS / PPOS / all GFA / Garage / carports / hardstands

2. Sediment and Erosion Control Plan @ 1:200

3. Floor Plans @ 1:100

- Fully dimensioned floor plan for each level
- Show all room names
- All internal walls / doors
- Finished levels
- Area schedule

4. Elevations @ 1:100

- North / South / East / West
- NGL & FGL
- FFL / FCL
- Roof Pitch
- Extent of Cut and Fill

5. Sections @ 1:100

- Section A-A
- Section B-B
- NGL & FGL
- All structure / internal walls
- Extent of Cut and Fill and retaining walls

6. Roof Plan @ 1:100

- Roof pitches
- Eaves depths
- Solar panel location
- Roof material & colour

7. Planting / Fencing Plan @ 1:200

- All side and rear fencing (refer to PCP's for each block)
- All courtyard walls
- Mail box type, material and location
- Extent of all retaining walls
- Area schedule of soft planting zone / canopy cover / paved or non-permeable areas

8. External Colours and Finishes Schedule

- Front façades @ 1:100
- Identify all front façade materials and colours
- Schedule or a table specification and image of proposed materials (if alternate from the pre-approved finishes)

9. NatHERS EER Certificate

- NatHERS energy efficiency rating report and certificate generated by NatHERS approved software package
- NatHERS stamped plans

10. Sustainability Schedule

External Colours and Finishes Schedule

Please tick the boxes below

Metal Roof – Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum	<input type="checkbox"/> Woodland Grey	

Facia & Gutters

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum	<input type="checkbox"/> Woodland Grey	

Garage Doors

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray	
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver	
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Blushed Teak	<input type="checkbox"/> Classic Cedar	<input type="checkbox"/> Iron Bark	<input type="checkbox"/> Kwila
<input type="checkbox"/> Merbau	<input type="checkbox"/> Silky Oak	<input type="checkbox"/> Weathered Timber	<input type="checkbox"/> Western Red Cedar	<input type="checkbox"/> Woodland Grey	

Window Frames

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum	<input type="checkbox"/> Woodland Grey	

Façade Colours Walls / Render / Cladding

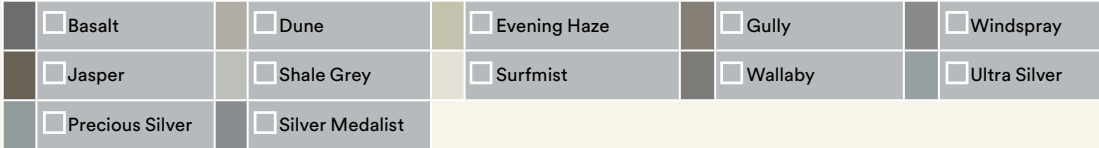
<input type="checkbox"/> Basalt	<input type="checkbox"/> Cove	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Natural Pearl	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Beige Royal	<input type="checkbox"/> Braid	<input type="checkbox"/> Cru	<input type="checkbox"/> Lexicon
<input type="checkbox"/> Light Rice	<input type="checkbox"/> Linseed	<input type="checkbox"/> Natural White	<input type="checkbox"/> Oyster Linen	<input type="checkbox"/> Terrace White	<input type="checkbox"/> Toffee Fingers
<input type="checkbox"/> Tuft	<input type="checkbox"/> Warm Neutral	<input type="checkbox"/> Woodland Grey			

Fence Colour - Colorbond

Side and Rear Boundary Fencing



Fence Infill Panel / Street Facing Fencing - Colorbond



External Colours and Finishes Schedule:

All specified colours and materials for the building’s exterior must be listed below. Please include brand, specification, profile and colour of proposed materials, sample photos/swatches should also be provided.

	Brand	Type/Range:	Colour
Bricks:			
Cladding 1:			
Cladding 2:			
Feature Material:			
Sunhoods/awnings:			
Retaining walls:			
Courtyard walls:			
Mailbox:			

F.O. Feature area only

Sustainability Schedule

Block		Section		Size (m²)	
-------	--	---------	--	-----------	--

Minimum Requirements as per element 2.0 Efficient Home Design

Solar PV Array

<250m²: 2kW 251<350m²: 3kW 351<500m²: 4kW >500m²: 5kW	Size (kW)
--	-----------

Home Energy Management System	<input type="checkbox"/> Evergen <input type="checkbox"/> Reposit (battery only)
-------------------------------	---

Inverter: Must be compatible with Home Energy Management System selected above

Brand	
-------	--

Model No.	
-----------	--

Battery (optional):

Brand	
-------	--

Size (kWh)	
------------	--

Hot Water System: Temperature range to -5C

<input type="checkbox"/> Solar* <input type="checkbox"/> Heat Pump
--

Brand	
-------	--

Model No.	
-----------	--

*Include model of storage tank and solar collectors (if applicable)

Air Conditioning System (if installed):

EER/COP Min: >3/>3.5 SPL Heat/Cool: <57/<57 at 1.0m Temp range: -10°C to 43°C	<input type="checkbox"/> RCAC <input type="checkbox"/> Other, please specify
---	---

Brand	
-------	--

Indoor Model No.	
------------------	--

Outdoor Model No.	
-------------------	--

EER		COP	
-----	--	-----	--

SPL Cooling		SPL Heating	
-------------	--	-------------	--

Rainwater Tank:

Must be connected to a toilet, laundry cold water and external taps

<250m²: n/a 251<350m²: 2,000Lt 351<599m²: 4,000Lt 600<800m²: 8,000Lt >801 m²: 10,000Lt	Size (L)
--	----------

Water Fixtures note:

Please complete or provide equivalent selection list (must clearly show star rating)

Note: Specification sheets, builders inclusions lists sheets or contract excerpts will not be accepted.

Water Fixtures: (Includes all sink mixers, bath mixers, shower heads, toilet suites)

Room	Type	Model	Flow Rate	Star Rating
Eg. Kitchen	Eg. Sink mixer	Eg. Clark6310	Eg. 5L/min	Eg. 4 Star

Ginninderry 