

# Design Requirements for Multi-Unit Housing RZ4

Block	Section	Suburb
a	BA	Strathnairn
ac	BF	Strathnairn
ad	BF	Strathnairn
t	BH	Strathnairn
u	BH	Strathnairn

Strathnairn & Macnamara

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**ACT**  
Government

**Suburban Land**  
Agency



**RIVERVIEW**  
GROUP

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# Part 1:

# Introduction

## **The Ginninderry vision: an inspiring 21st century community**

The Ginninderry community will be unique in our region. It extends across the ACT/NSW border to the west of Belconnen and is being developed by a Joint Venture between the ACT Suburban Land Agency (SLA) and Riverview Developments (ACT) Pty Ltd.

From the start, our vision for Ginninderry has been to build a community of international significance, with innovation, diversity and ecological criteria at its core. Now we're bringing this vision to life.

## **Setting the highest standards**

The multi-unit site at Ginninderry will form part of a whole neighbourhood design.

The project team has established high expectations for Ginninderry, perhaps best illustrated by the project's accreditation as Canberra's first 6 Star Green Star Community, through the Green Building Council of Australia. To achieve this certification, we've shown that Ginninderry will be a worldleading community, exhibiting international best practice in urban design and development.

All residents at Ginninderry will benefit from a vast conservation corridor, well connected pedestrian and cycling pathways, tree lined streets and easy access to public transport.

Ginninderry aspires to be recognised as a world leader in sustainable development, delivering a community that is:

- better planned and designed
- more dynamic and vibrant
- a healthy place to live work and play
- productive and prosperous
- flexible, adaptable and resilient.

## **Innovative ideas and technologies**

Like all communities, Ginninderry will evolve and change over time, and so too will building design technologies and materials. It is quite possible that innovative energy, comfort and cost outcomes may be achieved by using new technologies, practices and principles not contemplated in this document.

At the discretion of the Development Manager, mandatory requirements may be varied if better alternatives and solutions are proposed, that do not compromise the overall integrity of Ginninderry's design philosophy.



# Part 2:

# Design Approval Process

## Multi-unit designs at Ginninderry need to comply with the following:

- These Design Requirements
- Plans relating to this block in Part 4 Appendices
- Relevant Territory Plan District and Zone Policies (as applicable)
- Relevant District and Zone Technical Specifications and ACT Housing Design Guide (as applicable)

## Compliance Bond

An important part of the Contract for Sale of land at Ginninderry is the requirement for the payment of a Compliance Bond at the time of settlement. The Compliance Bond is to ensure the adherence to these Design Requirements.

## Minimum Requirements

The conditions for the return of the Compliance Bond are:

- You must attend a pre application meeting with the Design Team prior to design submission. Pre application documents should include:
  - A concept site plan
  - Concept floor plans
  - Concept elevation and open space elevation
- The design(s) has been submitted to and approved by the Development Manager prior to building commencement.
- The multi-unit homes have been built to the

approved design in accordance with the Design Requirements

- A letter from your solar installer certifying that the PV system with inverter and Home Energy Management System has been installed to comply with the Sustainability Requirements
- Any damage caused by the construction of the multi-unit site to the surrounding verges, street trees, footpath, services and adjoining land has been rectified to the satisfaction of City & Environment Directorate (CED) and our Development Manager
- All waste on the public verge and adjoining land has been removed
- The purchaser (builder) may not seek to transfer the compliance bond requirements to the ultimate owner of the dwelling(s)
- If found to be compliant, your full Compliance Bond will be returned



# Part 3: Design Requirements

The following information outlines the Design Requirements for Multi-Unit Housing - RZ4

Design Principle	Design Requirements
<p><b>Public Domain Interface</b></p> <p>Provide legible and attractive interfaces that achieve passive surveillance to public streets and lane-ways.</p>	<p>An entry door and entry porch to each dwelling is required to both the main frontage and the laneway frontage.</p> <p>Main frontages to streets and open space links must include a covered entry feature or portico with a minimum dimension of 1.5m x 1.5m.</p> <p>Laneway frontages must include a minimum 0.9(w) x 1.5m(d) articulated covered entry area.</p> <p>Blocks nominated with the rear laneway as the street address must have a front entry door, porch and mailbox to the laneway frontage</p> <p>Windows fronting a public road from habitable rooms, balconies or decks overlook the public domain.</p> <p>Courtyard walls are to be provided to comply with the Belconnen District Specification and are required to be coordinated with all service requirements, including clearance to any water meters and free access to any electrical meter boxes.</p> <p>Where development frontages are adjacent to open spaces, parks, public walkways or located on a corner, the following requirements apply:</p> <ul style="list-style-type: none"><li>• Habitable rooms have windows to provide passive surveillance (i.e. no 'blank' facades)</li><li>• Building entries and pathways are visible and legible from public domain.</li></ul>



Surveillance of Public Domain

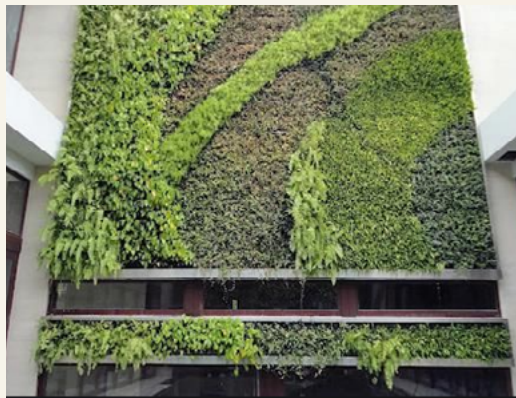


Clear entries behind courtyard walls

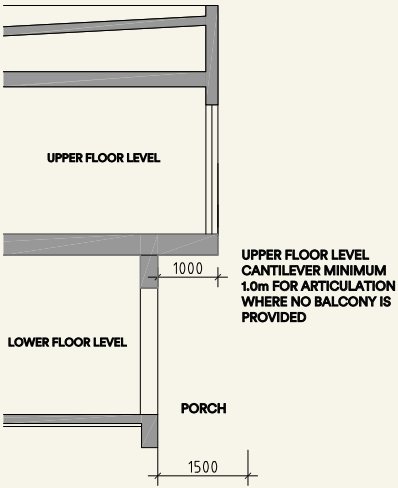
Design Principle	Design Requirements
<b>Local Character and Context</b>  The built form, articulation and scale relates to the local character of the area and its context.	<p>The design should sit comfortably within the Ginninderry Master Plan. Multi Unit housing is located throughout Ginninderry in prominent locations and on main arterials. As such, designs must provide a high quality, well articulated and active street frontage to the public domains.</p> <p>The design should respond to its orientation and provide private and communal open spaces that utilise the site's assets, provide links and connections from the precinct to adjacent open spaces and thoroughfares.</p>
<b>Landscape Design</b>  The landscape design requires healthy plant and tree growth space for medium and large sized trees.	<p>Tree planting on the site must meet or exceed the Territory Plan requirements for deep soil zones and tree sizes.</p> <p>Minimum planting area and dimensions - refer to Residential Zones Technical Specifications.</p> <p>The landscape plan proposes a combination of tree planting, for shade, mid height shrubs, lawn and ground covers.</p> <p>Include a mix of species that are appropriate for scale and shading.</p> <p>Synthetic or artificial grass is not permitted.</p> <p>The verge areas between the front boundary of the land and the kerb must be turfed.</p> <p>Refer Appendix E for suggested Landscape Planting Palette.</p>

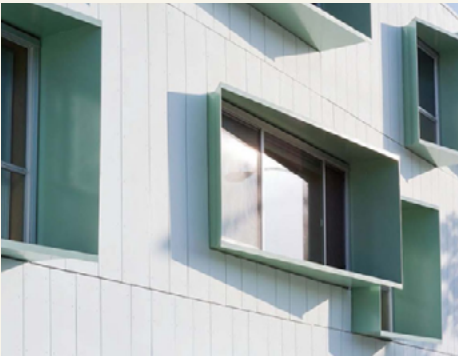


*Courtyard spaces should allow natural light and cross-ventilation to living spaces*



*An example of a vertical greenwall to help soften small courtyard areas*

Design Principle	Design Requirements
<p><b>Visual Appearance and Façade Articulation</b></p> <p>To promote well designed buildings of high Architectural quality that contribute to the local character.</p> <p>The facades of the multi-unit homes must be designed as an integrated pack to provide an consistent streetscape.</p> 	<p>The development is to incorporate articulation to frontages and laneways.</p> <p>The following elements help to provide functional articulation. The design must demonstrate how it responds to this requirement by incorporating the following:</p> <ul style="list-style-type: none"><li>• A covered entry feature or portico is mandatory to main frontages and laneways.</li><li>• A cantilever of 1.0m of the upper floor over lower floors is mandatory where a balcony is not provided</li><li>• A balcony, deck, pergola, terrace, or verandah</li><li>• Awnings, sunhoods, and louvres</li><li>• Eaves and vertical shading to western windows</li><li>• Screens to service/ancillary systems</li><li>• Blade walls and building projections</li><li>• Consideration of integration/ placement of downpipes</li><li>• Extruded box window treatments</li><li>• Access ramps as required</li></ul> <p>The overall streetscape must have a light base colour as the prominent wall finish with light weight cladding and include a mix of materials to provide articulation.</p> <p>Multi-storey designs must incorporate balconies at bookends/corners with a combination of solid and perforated metal or glass balustrades.</p> <p>Facade glazing to street frontages must be more vertical in proportion with mullion spacing less than 1.0m. Openings of 2.4m wide or more must be a minimum of 3 panels.</p> <p>Metal profile cladding systems or FC style boards with profile widths of a maximum 200mm are encouraged.</p>



Sunhood and Awning



Light filled screened balconies.



Clearly articulated facades add value and character to the streetscape



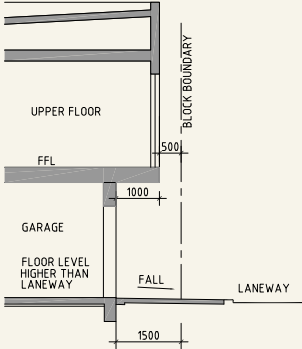
Passive Surveillance with articulated and screened balconies



Clearly articulated facades add value and character to the streetscape



Design Principle	Design Requirements
<b>Visual Appearance and Articulation to Building and Block Corners</b>	<p>Refer to the block planning controls.</p> <p>Articulation elements such as balconies, blade walls, pergolas, sunhoods, awnings, façade treatments, material use and expressed structure are required to add visual interest and avoid large blank wall planes to prominent corners.</p> <p>Buildings may need to be stepped back further on corners to permit balconies, glazing and larger eaves without encroachment into secondary front setbacks. All materials must wrap around the corner dwellings by at least 5 metres.</p>
<b>Roof Form</b>	<p>The roof treatments are integrated into the building design and positively respond to open space and laneway and provide for individual expression for each dwelling.</p> <p>The roof form must consider how to integrate the solar panels. Lights and ventilation systems are integrated into the roof design.</p> <ul style="list-style-type: none"> <li>• Gable roof – minimum 25 degrees if visible</li> <li>• Skillion – 10 to 15 degrees minimum if visible</li> <li>• Parapets – must return down side elevations incorporating boxed gutters where required to ensure the roof structure behind is not visible.</li> </ul>
<b>Roofing Materials</b>	Metal profile roof sheeting only. Refer to Approved Colours and Finishes palette Part 4.
<b>Eaves, Awnings and Sunhoods</b>	Minimum 600mm eaves required. Any windows that are not protected by an eave, i.e Parapet walls, require awnings or sunhoods.
<b>Mailbox</b>	<p>Mailboxes should be incorporated into a courtyard wall (where permitted).</p> <p>Standalone mailboxes must compliment the home and must be constructed of masonry such as smooth face brick, stone faced masonry, rendered or bagged masonry or natural stone.</p>
<b>Bush Fire Requirements</b>	Refer to the Belconnen District Specification for bushfire requirements.
<b>Energy Efficiency Rating</b>	<p>A minimum NatHERS rating of 7.0 is required for each dwelling. A NatHERS Certificate and Whole of Home assessment must be provided. Ratings will be reviewed by an accredited assessor as required. The NatHERS Certificate must reflect the following mandatory requirements:</p> <ul style="list-style-type: none"> <li>• Insulation batts are to be provided to all subfloor spaces between floors (in addition to wet areas).</li> <li>• Thermally broken or uPVC window frames with double glazing.</li> </ul>
<b>Zoning</b>	Zone RZ4.
<b>Building Height</b>	Refer to the Residential Zones Policy
<b>Building Front Setback</b>	Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).
<b>Fencing &amp; Courtyard Walls</b>	Refer to Belconnen District Specification & Fencing Controls Plan.

Design Principle	Design Requirements
<b>PPOS Requirements</b>	Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).
<b>Natural Ventilation</b>	All habitable rooms must be naturally ventilated.
<b>Dwelling Size and Layout</b>	<p>The dwelling has sufficient area to ensure the layout of rooms are functional, well organised and provide a high standard of amenity.</p> <p>Minimum Net Living Areas (NLA's):            1 bed = 50m<sup>2</sup>   2 bed = 70m<sup>2</sup>   3+ bed = 95m<sup>2</sup></p> <p>Kitchens are not part of circulation spaces such as hallways.</p>
<b>Garage and Garage Doors</b> 	<p>Garages are to be located at least 1.0m behind the built form. This may include the setback from projecting upper floors, balconies and blade walls.</p> <p>Where garages address internal laneways articulation of at least a 500mm setback is required to every third terrace pack.</p> <p>Consider the use of masonry base elements to corners of garages and lightweight elements where appropriate.</p> <p>Provide panel lift or tilt up garage doors. Roller doors are not permitted.</p>
<b>Storage</b>	<p>Multi-unit designs must provide adequate internal storage for each unit.</p> <p>Minimum internal dwelling storage:</p> <ul style="list-style-type: none"> <li>• Studio dwellings = 2m<sup>2</sup></li> <li>• 1 bed dwellings = 3m<sup>2</sup></li> <li>• 2 bed dwellings = 4m<sup>2</sup></li> <li>• 3+ bed dwellings = 5m<sup>2</sup></li> </ul> <p>Refer to Residential Zones Specifications</p>
<b>End or Trip Facilities</b>	<p>Onsite bicycle parking and access pathway is to be provided in accordance with Residential Zones Specification.</p> <p>The following minimum bicycle parking spaces are to be provided:</p> <ul style="list-style-type: none"> <li>- 1 space per 2 bed dwelling</li> <li>- 2 spaces per 3+ bed dwelling</li> <li>- 1 space per 10 dwellings for visitors</li> </ul>



Garage storage solutions



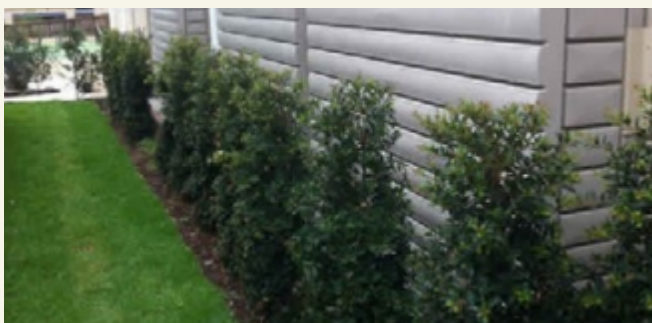
Bicycle storage solutions



Laundry linen storage

Design Principle	Design Requirements
<b>Bin Locations</b>	<p>Developments that propose post occupancy waste management facilities must achieve endorsement from CED.</p> <p>Storage for three bins must be provided including general waste, recycling and green waste. Bin locations should be integrated with the dwelling designs and screened from public view.</p> <p>Kitchen design must allow for easy waste separation.</p>
<b>Ceiling Heights</b>	<p>Ceiling heights are to achieve sufficient natural ventilation and provide daylight access and spatial quality.</p> <p>Minimum ceiling heights:</p> <ul style="list-style-type: none"> <li>• 2.7m to ground floor habitable rooms</li> <li>• 2.7m to upper floor living areas</li> <li>• 2.5m to upper level bedrooms</li> </ul>
<b>Glazing</b>	<p>uPVC or thermally broken aluminum double glazing is required to all external windows and doors. Correct glazing type must be reflected on the NatHERs Certificate for the dwelling.</p>
<b>Home Energy Systems</b>	<p>Dwellings must be all-electric with no mains or bottled gas connections.</p> <p>A PV System with a Home Energy Management System and compatible inverter must be installed for all dwellings under the following provisions:</p> <ol style="list-style-type: none"> <li>Minimum PV size: <ul style="list-style-type: none"> <li>• 1-2 bedroom 3kW</li> <li>• 3 bedroom+ 4kW</li> </ul> </li> <li>Home Energy Systems must be a Reposit Power (battery is required) or Evergen.</li> <li>The solar inverter must be compatible with the chosen Home Energy Systems above.</li> <li>Where PV panels are located on a roof section fronting a street, they must be installed flush with the roof.</li> <li>All hardware components must be installed by a certified Solar Accreditation Australia installer.</li> </ol>
<b>Appliances and Fixtures</b>	<p>Induction cooktops must be provided to all dwellings.</p> <p>All appliances, water fixtures and fittings must have a minimum 4 star rating under the water efficiency labeling and standards (WELS) scheme and (where required) a 4 star energy rating under the energy rating label (Energy Efficiency Rating) scheme.</p> <p>This includes showerheads, tap ware, toilets, fridges, freezers, washing machines, dryers and any other appliance provided with the dwelling.</p>

Design Principle	Design Requirements
<b>Hot Water Systems</b>	<p>All dwellings must have a solar or heat pump hot water system installed. Roof top solar water collectors are not permitted on the roof fronting the street. Consideration must be given to the location of any tank including screening or placement within a cupboard or garage space.</p> <p>Hot water systems must be climate appropriate and have temperature application range down to -5 degrees ambient air temperature.</p>
<b>Heating and Cooling</b>	<p>Passive heating and cooling must be considered for all dwellings including ceiling fans and thermal mass)</p> <p>If Mechanical heating and/ or cooling systems are installed they must be:</p> <ol style="list-style-type: none"> <li>reverse cycle air conditioning with: <ul style="list-style-type: none"> <li>Energy Efficiency Rating of 3.1 or higher for cooling cycle</li> <li>Coefficient of Performance of 3.5 or higher for heating cycle</li> <li>Outdoor unit with sound pressure level of 57dBA at 1.0m or lower for heating and cooling cycle</li> </ul> </li> <li>air conditioning with a cooling cycle only that achieves an Energy Efficiency Rating of 3.1 or higher</li> <li>ducted evaporative cooling with self-closing damper</li> <li>ground source heat pump.</li> </ol> <p>Considerations must be given to the location of any outdoor fan coil unit including screening and compliance with ACT EPA noise requirements.</p>
<b>Rainwater Tanks</b>	<p>Minimum requirement as per Residential Zones Specification.</p> <p>Please consider addition Water Sensitive Urban Design and Rainwater tank provisions for soft planting and environmental purposes.</p>



*Narrow style rainwater tanks can be used where space requirements are restrictive*



*Rainwater tanks incorporated into a carport design shows clever and effective use of small spaces*



Design Principle	Design Requirements
<b>Electric Vehicle (EV) Charging</b>	<p>One EV Ready charging point per dwelling with:</p> <ul style="list-style-type: none"> <li>• 10 Amp General Power Outlet (GPO) single phase socket with electrical cabling/wiring capacity rated to 32 Amp single phase.</li> <li>• Wiring installed from the EV charger position to individual switchboard</li> <li>• Space for double-width circuit breaker in switchboard</li> <li>• Data cabling (home ethernet data point) to be provided next to the GPO with the ability to be patched/ connected with home NBN router.</li> </ul> <p>If any future higher specification requirements are provided by the National Construction Code or ACT Government Territory Plan, the requirements from the National Construction Code or ACT Government Territory Plan take precedence.</p>
<b>Retaining Walls</b>  <p>Extensive earthworks should be limited where possible to minimise the extent of retaining wall costs and the visual impacts to the streetscape.</p>	<p><b>Minimum Requirements:</b></p> <ul style="list-style-type: none"> <li>• The height of site cuts along the side boundaries with attached neighbouring wall cannot exceed 500mm in height</li> <li>• Front fill retaining walls must not exceed 1.0m in height with tiered increments separated by 1.0m provided.</li> <li>• Where a retaining wall is required in combination with a courtyard wall the maximum combined height of retaining wall and courtyard wall is 2.2m. i.e. 1.0m high wall and 1.2m high courtyard</li> <li>• Retaining wall forward of the front building line must be constructed from the following materials at the discretion of the Ginninderry Development Manager <ul style="list-style-type: none"> <li>- Approved face brick</li> <li>- Approved rendered masonry</li> <li>- Approved brickwork such as split face, honed or shot blast finishes</li> <li>- Approved stone faced masonry</li> <li>- Approved reinforced concrete finishes</li> </ul> </li> <li>• Timber, concrete sleepers or prefabricated modular systems are not permitted forward of the building line.</li> <li>• Retaining walls along side boundaries forward of the building line must be tapered or stepped in line with the finished ground level at the front boundary.</li> <li>• Where there are services such as water, electrical, communications, sewer and storm water, detailed coordination of all courtyard wall locations and associated services must be considered in the initial design process.</li> </ul>



Arch split face block



Streetscape



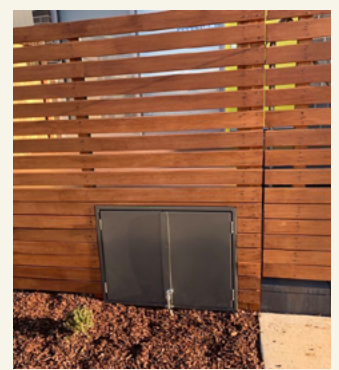
Well articulated dwelling designs provide a functional and more attractive streetscape

Design Principle	Design Requirements
<b>Vehicle Access</b>	<p><b>Minimum Requirements:</b></p> <ul style="list-style-type: none"> <li>• Driveways must be constructed from either <ul style="list-style-type: none"> <li>- plain concrete or</li> <li>- maximum 5% Oxide finish</li> </ul> </li> </ul>
<b>Services and ancillary structures</b>	<p>Services such as water, electricity meter boxes, NBN and home energy system cabinets can have an adverse impact on the overall streetscape if not considered as part of the overall design.</p> <p>The location of the above services will be required to be shown on the site plan as part of the design approval process.</p> <p><b>Minimum Requirements:</b></p> <ul style="list-style-type: none"> <li>• Water, electricity meter boxes, NBN and home energy system cabinets must be integrated into the front façade and located away from the front door</li> <li>• Solar panels must sit flush with the roof line if located to the street frontages of the dwellings</li> <li>• Storage tank for solar HWS is not permitted to be mounted on the roof fronting the street</li> <li>• Aerials, satellite dishes, antennae, heat pumps, A/C units and evaporative units are to be located to the rear of the dwellings and must not be visible from the street.</li> <li>• Clothes drying lines and garbage bins are to be located to the rear of the terraces. If they are located to the side of the house within the Primary Building zone, they must be screened from public view.</li> <li>• Sheds, outdoor structures are to be located to the rear of the terraces and away from public view.</li> </ul>

Design Principle	Design Requirements
<b>Dog and Cat containment</b>	<p><b>Minimum Requirements:</b></p> <p>Suburbs within Ginninderry are Cat Containment and Dog on Leash areas. Designs should give consideration to responsible pet ownership principles including the use of enclosures or cat runs. More information can be obtained at: <a href="https://www.cityservices.act.gov.au/pets-and-wildlife/domestic-animals/cats/cat-containment">https://www.cityservices.act.gov.au/pets-and-wildlife/domestic-animals/cats/cat-containment</a></p> <ul style="list-style-type: none"> <li>• Dogs must remain on leash in public areas except within designated un-leashed areas such as dog parks.</li> <li>• Dogs are not permitted in the conservation corridor.</li> </ul>



Cat containment



Integrated water meter details within courtyard walls

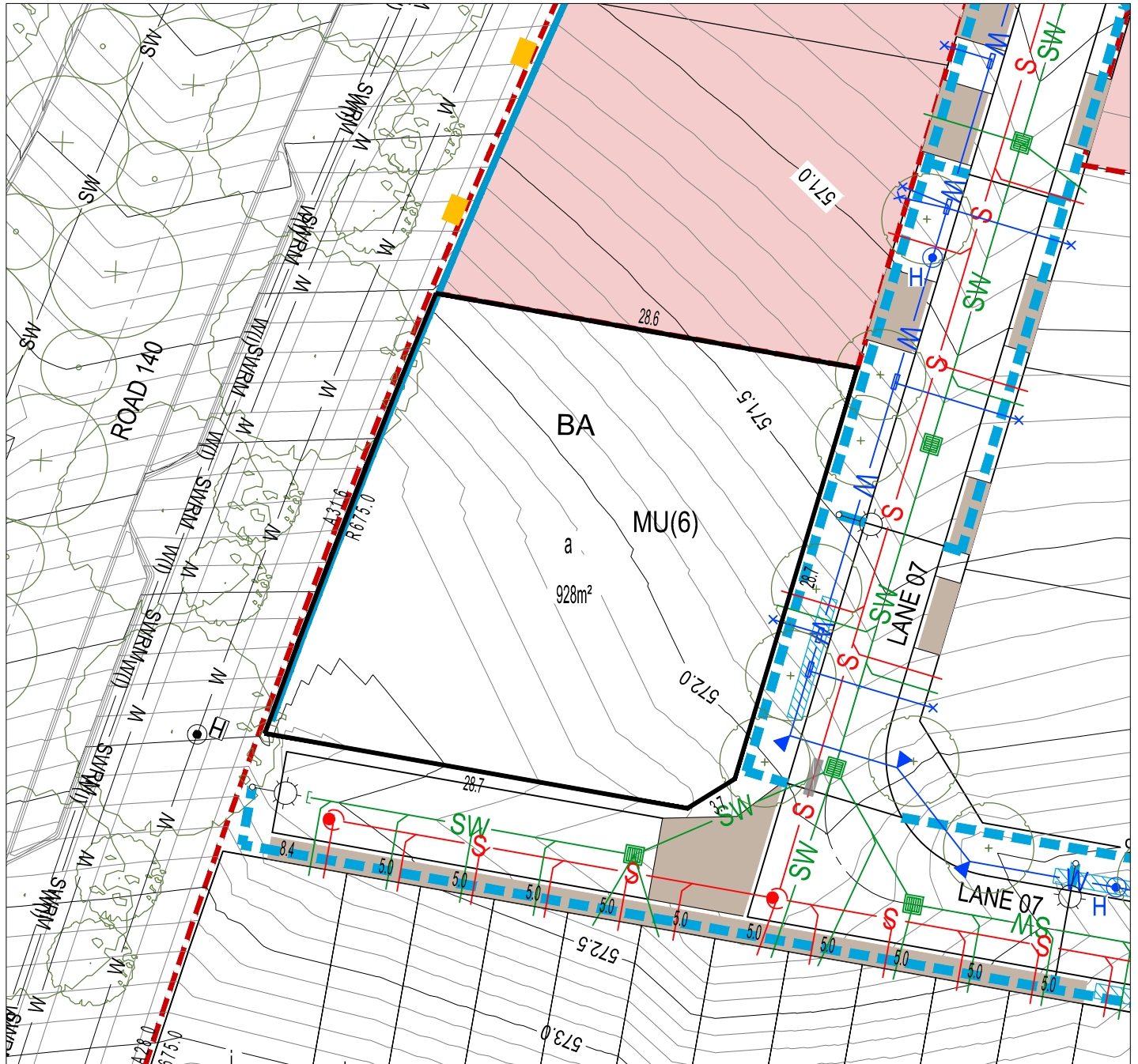




# Part 4: Appendix A



### Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

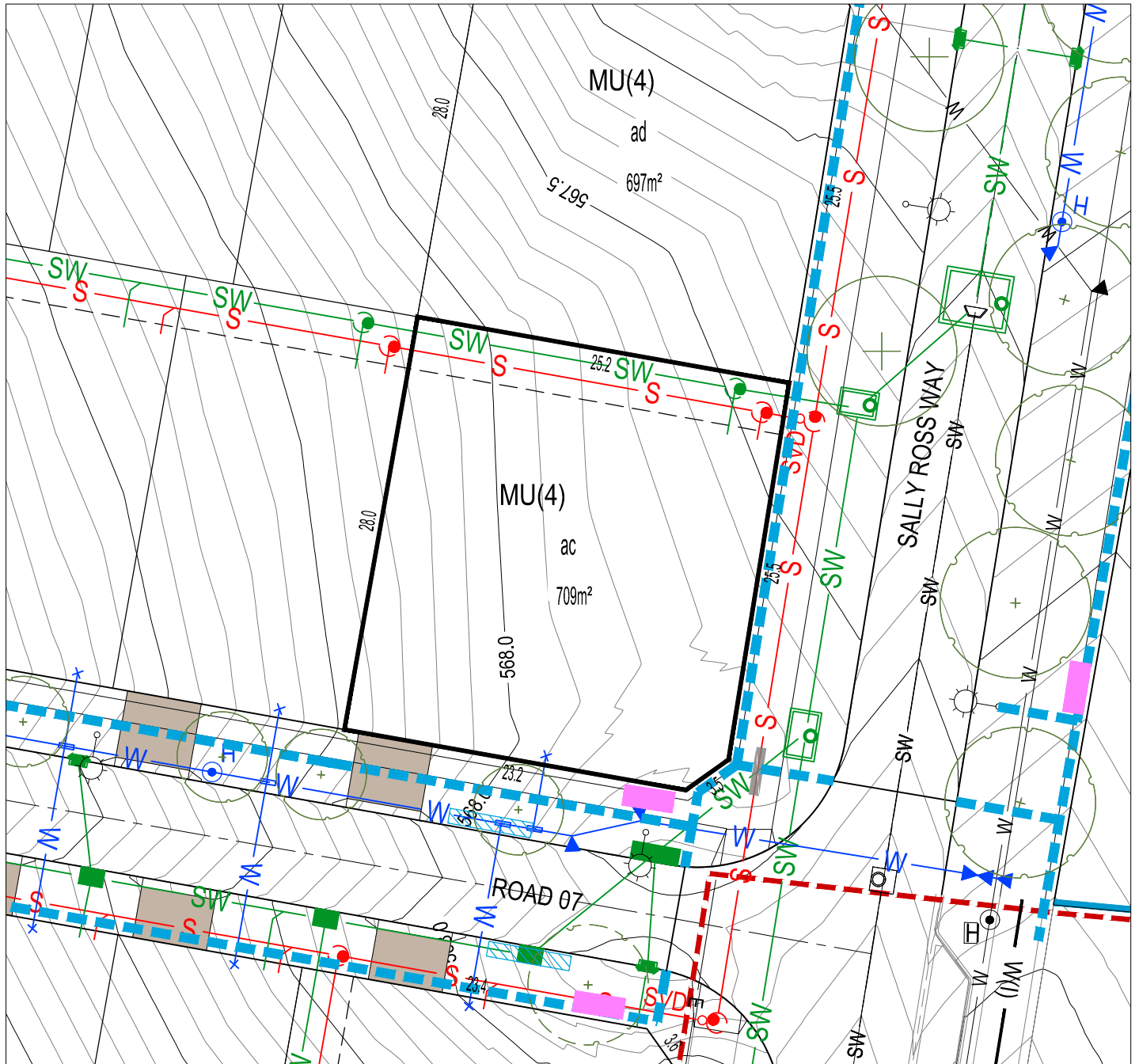
#### LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN  
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

### Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

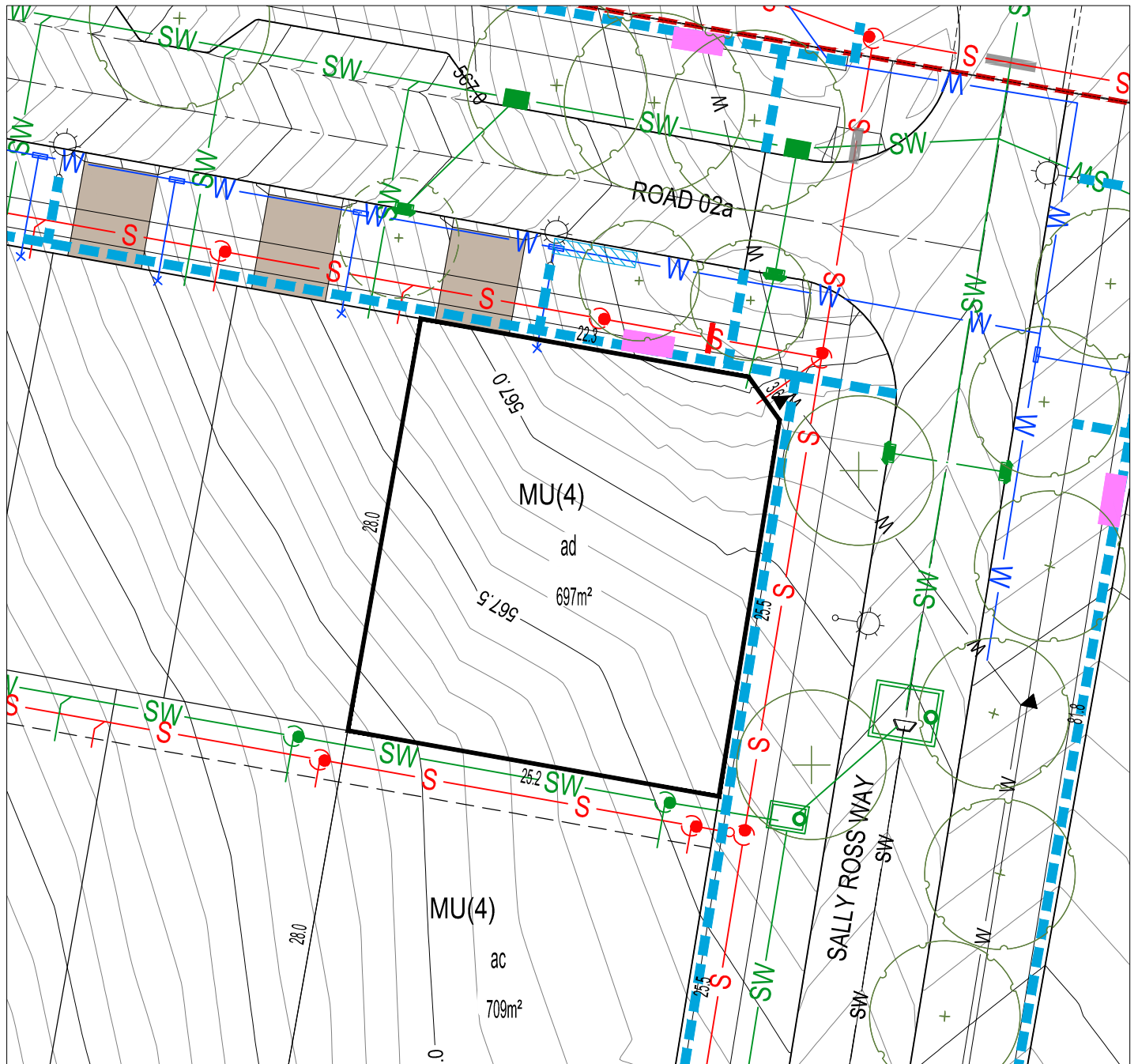
#### LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
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BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

#### LEGEND

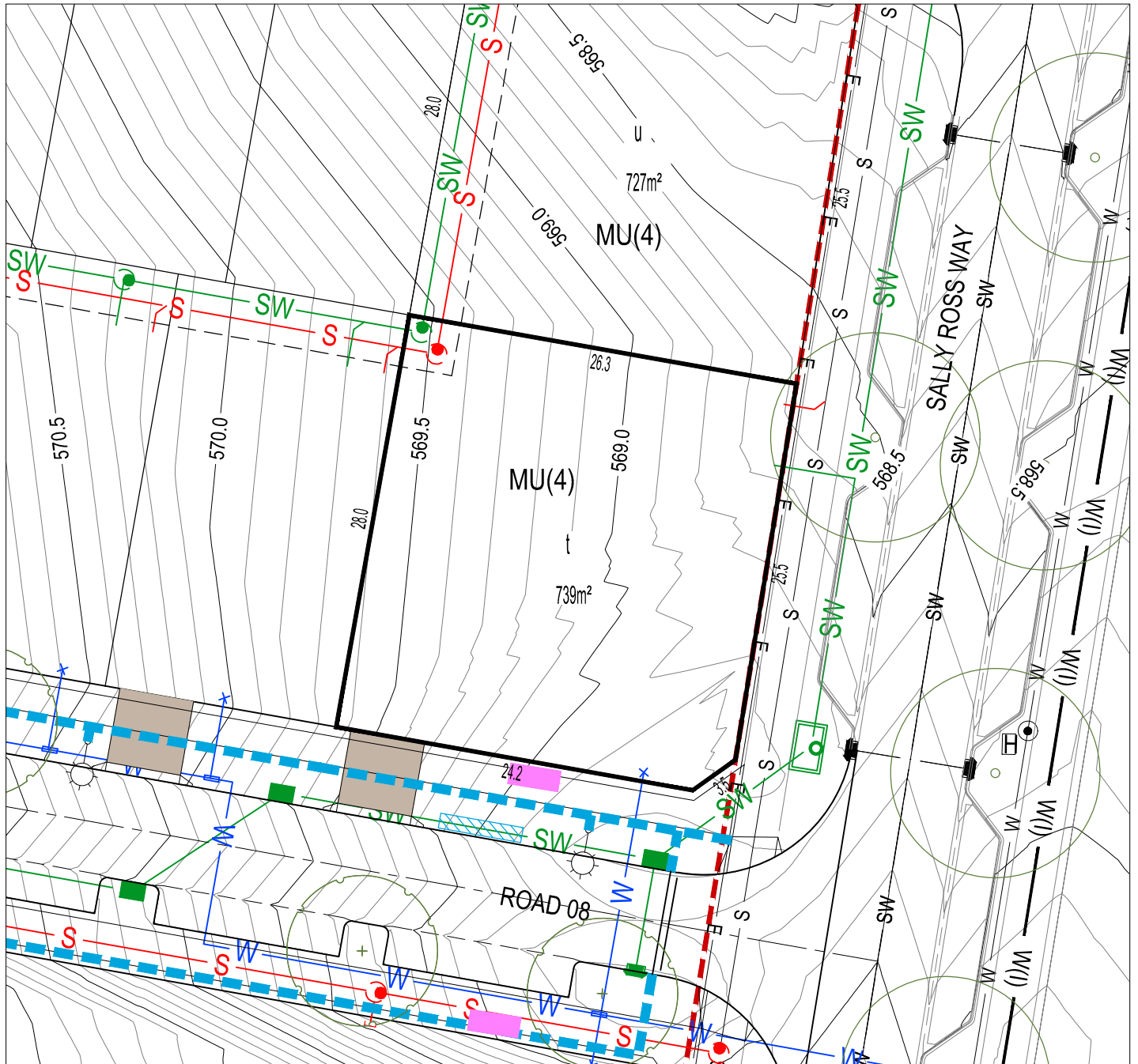
	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN  
REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.



### Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

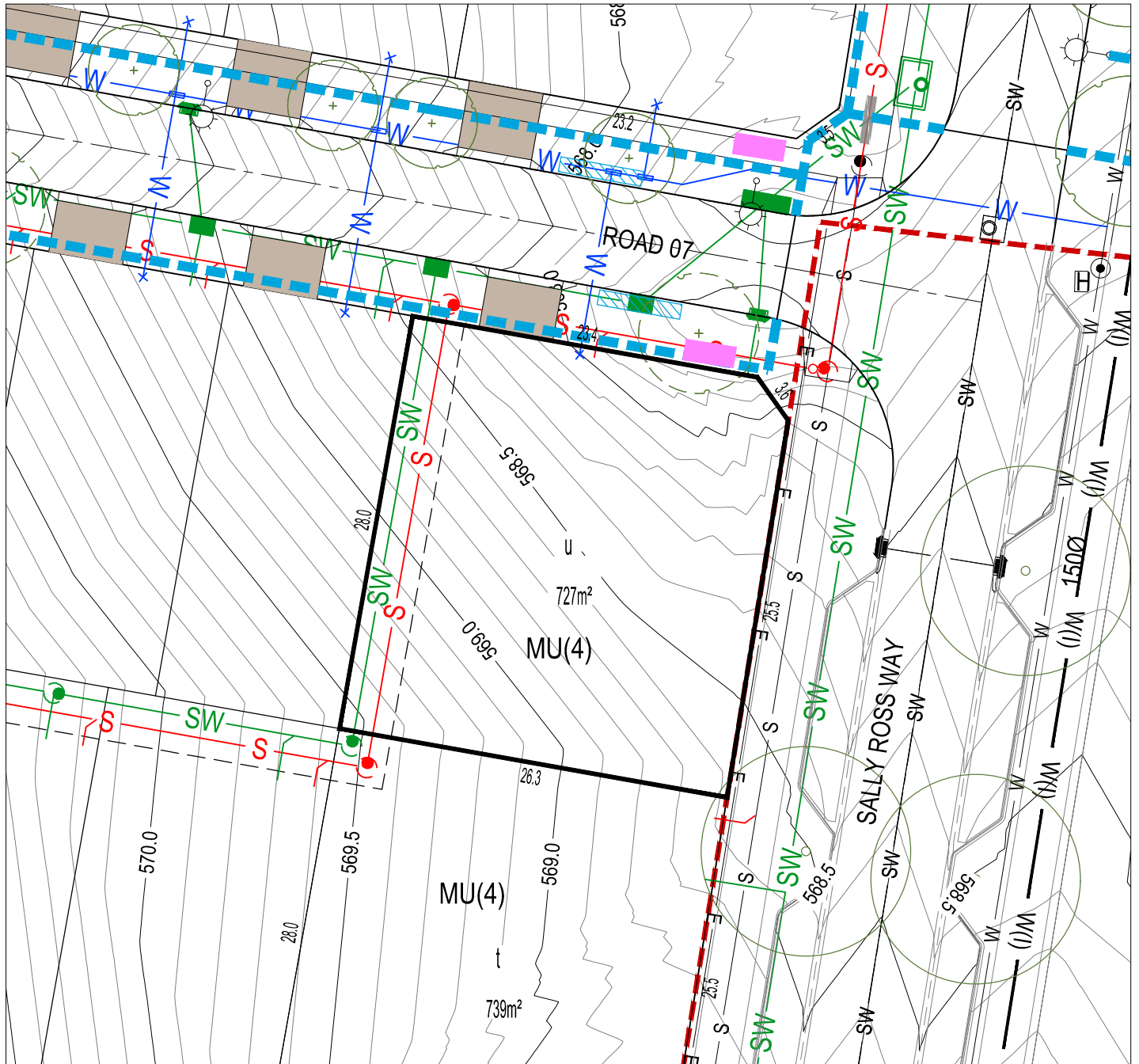
#### LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		STREET TREES
	CONTOUR 0.1m INTERVAL				ABOVE GROUND MINIPILLAR		
	RETAINING WALL				IN GROUND MINIPILLAR		
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

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### Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: October 2025

#### LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBN Co. PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT		ABOVE GROUND MINIPILLAR
	CONTOUR 0.1m INTERVAL				IN GROUND MINIPILLAR		STREET TREES
	RETAINING WALL						
	REINFORCED CONCRETE DRIVEWAY BY PURCHASER						
	REINFORCED CONCRETE DRIVEWAY BY CIVIL CONTRACTOR						
	STAGE BOUNDARY						

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN  
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# Appendix B







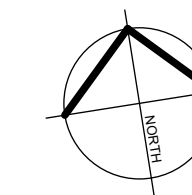
PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
 SUBJECT TO THE CONDITIONS SET OUT IN THE  
 NOTICE OF DECISION  
 PURSUANT TO SECTION 162

Delegate name DALE BILLING

Date 28/7/2025

### LEGEND
















COMMON LEGEND FOR ALL PLANNING CONTROLS PLANS.  
NOT ALL ITEMS LISTED WILL APPEAR ON THIS SHEET  
PLANNING CONTROL PLAN PROVISIONS AS PER DRAFT  
MACNAMARA PRECINCT CODE






--- MACNAMARA EDP2 BOUNDARY

INDICATIVE FUTURE DEVELOPMENT  
SUBJECT TO TRANSMISSION LINE  
RELOCATION AND FUTURE EDP SUBMISSION



## GENERAL CONTROLS

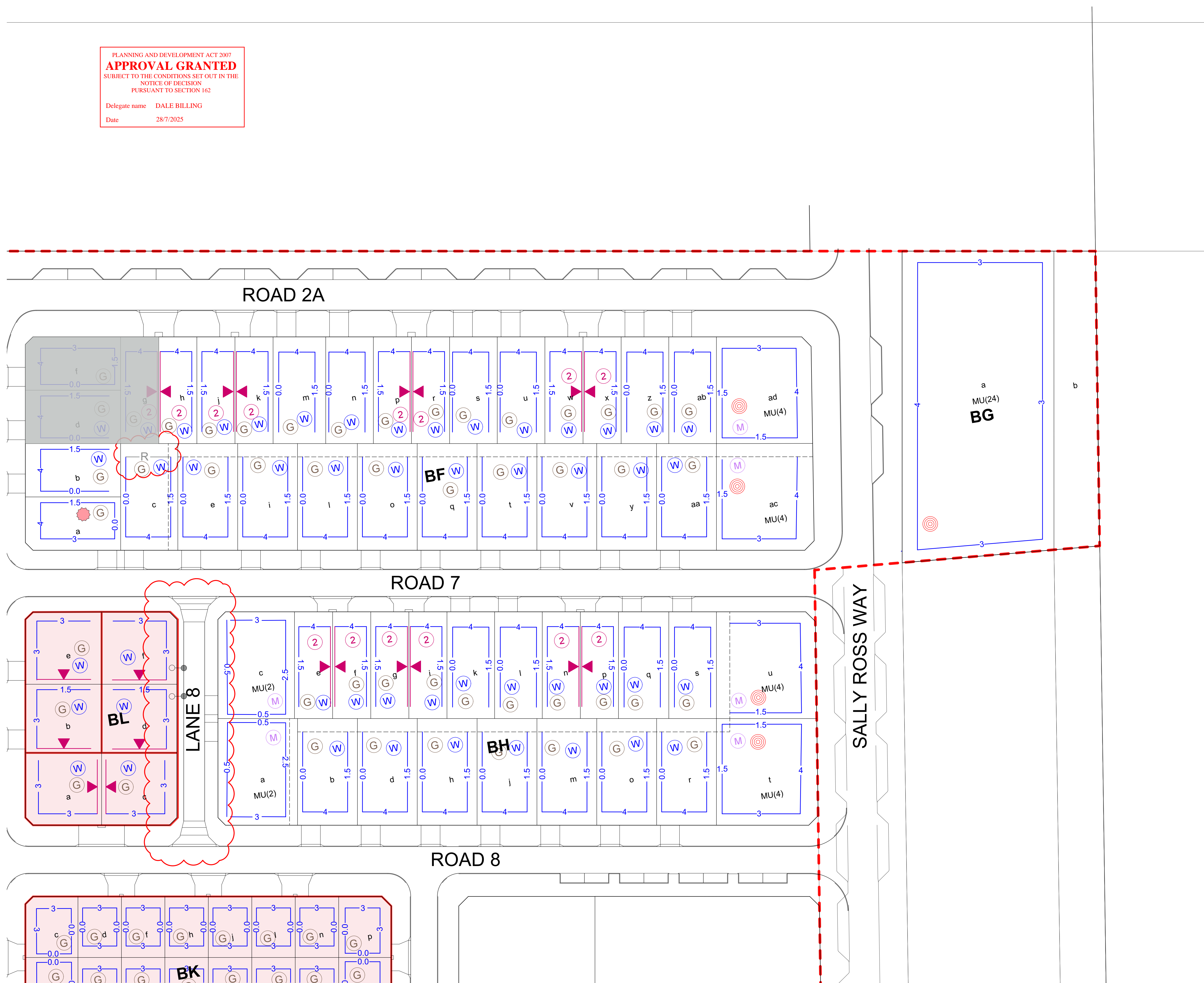
-  LIMITED DEVELOPMENT POTENTIAL
  -  INTEGRATED DEVELOPMENT PARCEL
  -  MANDATORY SURVEILLANCE BLOCK
  -  BLOCKS 500m<sup>2</sup> TO <550m<sup>2</sup> SUBJECT TO MIDSIZE BLOCK PROVISIONS
  -  NOISE AFFECTED BLOCKS
  -  GARAGE MUST BE A MINIMUM OF 1.5M BEHIND THE FRONT BUILDING LINE
  -  NOMINATED AS REAR BOUNDARY
  -  EASEMENT
  -  MAXIMUM BUILDING HEIGHT 8.5M FOR PART OF BLOCK WITHIN 9 METRES OF SOUTHERNMOST BOUNDARY
  -  BLOCK SUBJECT TO COMMUNITY TITLED SCHEME
  -  GATE, STREET ADDRESS AND LETTERBOX TO BE OFF LANE (AS INDICATED)
  -  BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHDC
  -  BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS: WATER SENSITIVE URBAN DESIGN GENERAL CODE. DETENTION AND WATER QUALITY TARGETS HAVE BEEN FULLY MET DOWNSTREAM
  -  MINIMUM 2 STORIES
  -  WATER TANK REQUIREMENTS
 

BLOCK SIZE (M <sup>2</sup> )	MANDATORY MINIMUM TANK SIZE (kL)
251 ≤ 350	2
351 ≤ 599	4
600 ≤ 800	8
> 801	10
  -  PPOS MINIMUM DIMENSIONS 3mx4m
  -  PPOS
    - MINIMUM AREA 12m<sup>2</sup> WITH A MINIMUM DIMENSION 1.8M
    - MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL
  -  ONLY ONE ON BLOCK PARKING SPACE REQUIRED

## BUILT FORM SETBACKS

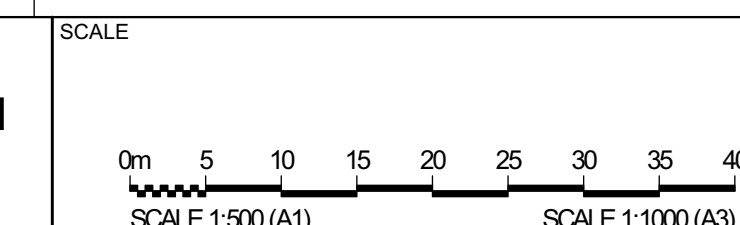
MINIMUM BOUNDARY SETBACKS APPLY TO ALL FLOORS EXCEPT SIDE SETBACKS FOR GARAGES AND CARPORTS

-  - MINIMUM SETBACK (METRES)
-  - ANY PART OF A BUILDING THAT IS SITED OUTSIDE OF THE BUILDING ENVELOPE OR SOLAR BUILDING ENVELOPE IS REQUIRED TO BE BUILT TO THE NOMINATED BOUNDARY FOR THE PURPOSE OF R6 AND R7A OF THE SINGLE DWELLING HOUSING CODE



AMENDMENT DETAILS							
	DESIGN	DRAWN	CHECK	APPROVED	DATE		
AMENDMENTS	A	JM	JM	OT	OT	28/08/23	ISSUE FOR DA
	B	JM	JM	BR	BR	15/05/24	ISSUE FOR FIR RESPONSE
	C	JM	JM	BR	BR	10/2/25	ISSUE FOR S165


STATUS		
ESTATE DEVELOPMENT PLAN		
		DATE 21/05/24



WAE No.	
CLIENT/CONSULTANTS	  

PLANNING / URBAN DESIGN

**Tait Network**

 **Place Logic**

PROJECT







# MACNAMARA EDP 2

DISCLAIMER  
ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION.  
USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. NOT FOR CONSTRUCTION UNLESS  
STAMPED BY CERTIFYING AUTHORITY

DRAWING TITLE		
PLANNING CONTROLS PLAN SHEET 3 OF 7		
PROJECT No.	DRAWING No.	REVISION
21-000393E	1.31.03	C

# Appendix C



DESIGN							DRAWN							CHECK							APPROVED							DATE							AMENDMENT DETAILS														STATUS	SCALE														WAE No.														PLANNING / URBAN DESIGN														PROJECT														DRAWING TITLE													
AMENDMENTS	A	JM	JM	OT	OT	28/08/23	ISSUE FOR DA														ESTATE DEVELOPMENT PLAN							<small>DISCLAIMER</small> ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. NOT FOR CONSTRUCTION UNLESS STAMPED BY CERTIFYING AUTHORITY	MACNAMARA EDP 2	FENCING CONTROLS PLAN SHEET 1 OF 1																																																																																									
	B	JM	JM	BR	BR	15/05/24	ISSUE FOR FIR RESPONSE																																																																																																																
	C	JM	JM	BR	BR	10/2/25	ISSUE FOR S165																																																																																																																
																												DATE 21/05/24																																																																																											

# Appendix D







# Appendix E

# Landscape Concept Planting Palette

## Edible Plants

Below is a list of edible plants that Ginninderry encourages you to plant when landscaping your garden.

Code	Botanical Name	Common Name	Mature Plant Size	Container Size	Spacing
<b>Small Trees</b>					
Mad	<i>Malus domestica</i>	Apple	3m x 3m	100L	-
Pyc	<i>Prunus cerasifera</i>	Cherry Plum	5m x 5m	100L	-
PrpA	<i>Prunus persica</i> 'Anzac'	Australian Peach	4m x 4m	100L	-
PrsAB	<i>Prunus salicina</i> 'Angelina Burdett'	Plum	4-10m x 2-4m	100L	-
<b>Large Shrubs</b>					
Cil	<i>Citrus limon</i> 'Meyer'	Meyer Lemon	3m x 2m	25L/300mm	1.5/m <sup>2</sup>
Fes	<i>Feijoa sellowiana</i>	Pineapple Guava	4m x 2m	25L/300mm	1.5/m <sup>2</sup>
Mia	<i>Microcitrus australasica</i>	Finger Lime	4m x 2m	25L/300mm	1.5/m <sup>2</sup>
<b>Small Shrubs</b>					
Roo	<i>Rosemarinus officinalis</i>	Rosemary	0.5-1.5m x 1m	5L/200mm	3/m <sup>2</sup>
Vac	<i>Vaccinium corymbosum</i>	Blueberry - Blue Rose	1-2m x 1-2m	5L/200mm	3/m <sup>2</sup>
Cij	<i>Citrus japonica</i>	Kumquat	2-3m x 3m	5L/200mm	3/m <sup>2</sup>
<b>Groundcovers/ Climbers</b>					
Fra	<i>Fragaria ananassa</i>	Strawberry	0.3m H	2.5L/150mm	4/m <sup>2</sup>

### Small Trees



*Malus domestica*



*Malus domestica* – fruit



*Prunus cerasifera*



*Prunus persica*



*Prunus salicina* - fruit

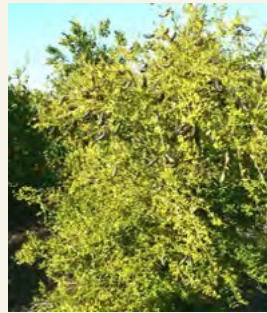
## Large Shrubs



*Citrus limon*

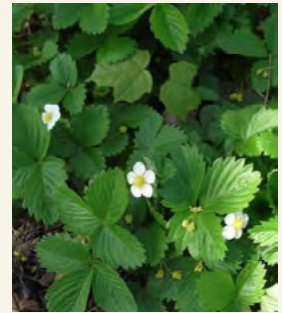


*Feijoa sellowiana*



*Microcitrus australasica*

## Groundcovers



*Fragaria ananassa*

## Small Shrubs



*Rosemarinus officinalis*



*Vaccinium corymbosum*



*Citrus japonica*

# Landscape Concept Planting Palette

## Native Plants

Below is a list of native plants that Ginninderry encourages you to plant when landscaping your garden.

Code	Botanical Name	Common Name	Mature Plant Size	Container Size	Spacing
<b>Large Shrubs (Hedging)</b>					
BNm	<i>Banksia marginata</i>	Silver Banksia	5m x 3m	25L/300mm	1.5/m <sup>2</sup>
BNsp	<i>Banksia spinulosa</i>	Hairpin Banksia	3m x 3m	25L/300mm	1.5/m <sup>2</sup>
Cbf	<i>Callistemon 'Great Balls of Fire'</i>	Bottlebrush	2m x 2m	25L/300mm	1.5/m <sup>2</sup>
Ckp	<i>Callistemon 'King's Park Special'</i>	Bottlebrush	2-4m x 3-4m	25L/300mm	1.5/m <sup>2</sup>
Cra	<i>Callistemon viminalis 'Red Alert'</i>	Creek Bottlebrush	4m x 2m	25L/300mm	1.5/m <sup>2</sup>
Gpp	<i>Grevillea 'Poorinda Peter'</i>	Poorinda Peter Grevillea	3m x 4m	25L/300mm	1.5/m <sup>2</sup>
Gpq	<i>Grevillea 'Poorinda Queen'</i>	Poorinda Queen Grevillea	3m x 4m	25L/300mm	1.5/m <sup>2</sup>
Gho	<i>Grevillea 'Red Hooks'</i>	Red Hooks Grevillea	3m x 4m	25L/300mm	1.5/m <sup>2</sup>
<b>Small Shrubs</b>					
Anf	<i>Anigozanthus 'Bush Gem'</i>	Kangaroo Paw	0.6m x 1m	5L/200mm	3/m <sup>2</sup>
Bkl	<i>Baeckea linifolia</i>	Flax-leaf Heath Myrtle	1-2.5m x 0.5-2m	5L/200mm	3/m <sup>2</sup>
Gco	<i>Grevillea confertifolia</i>	Dense-leaf Grevillea	2m x 1-2m	5L/200mm	3/m <sup>2</sup>
Gla	<i>Grevillea lanigera</i>	Wooly Grevillea	0.5-1m x 1-2m	5L/200mm	3/m <sup>2</sup>
Wab	<i>Westingia sp. 'Aussie Box'</i>	Coast Rosemary	1.5m x 1.5m	5L/200mm	3/m <sup>2</sup>
<b>Small Shrubs (Hedging to Frontage)</b>					
Cvc	<i>Callistemon viminalis 'Captain Cook'</i>	Bottlebrush		5L/200mm	3/m <sup>2</sup>
Etm	<i>Philotheca myoporoides</i>	Long-leaf Waxflower	1.5-2m x 2m	5L/200mm	3/m <sup>2</sup>
Gba	<i>Grevillea baueri</i>	Bauer's Grevillea	0.6-1.5m x 2m	5L/200mm	3/m <sup>2</sup>
Wew	<i>Westingia fruticosa 'Grey Box'</i>	Coastal Rosemary	2m x 4m	5L/200mm	3/m <sup>2</sup>
<b>Groundcover/Climbers</b>					
Acc	<i>Acacia cognata 'limelight'</i>	Dwarf River Wattle	0.5m x 1m	2.5L/150mm	4/m <sup>2</sup>
Asfp	<i>Astartea fascicularis</i>	Winter Pink	0.3m x 1.5m	2.5L/150mm	4/m <sup>2</sup>
BNsp	<i>Banksia spinulosa 'Birthday Candle'</i>	Birthday Candle Banksia	0.5m x 1.5m	2.5L/150mm	4/m <sup>2</sup>
BRm	<i>Brachyscome multifida</i>	Rock Daisy	0.3m x 1.5m	2.5L/150mm	4/m <sup>2</sup>
Coc	<i>Convolvulus cneorum</i>	Bush Morning Glory	0.6m x 1m	2.5L/150mm	4/m <sup>2</sup>
Gbr	<i>Grevillea sp. 'Bronze Rambler'</i>	Bronze Rambler Grevillea	0.3m x 2m	2.5L/150mm	4/m <sup>2</sup>



Hav	Hardenbergia violacea	Purple Coral Pea	3m x 1m	2.5L/150mm	4/m <sup>2</sup>
Myp	Myoporum parvifolium	Creeping Boobialla	0.2m x 2m	2.5L/150mm	4/m <sup>2</sup>
RHs	Rhagodia spinescens 'Aussie Flat Bush'	Aussie Flat Bush	0.3-0.5m x 1m	2.5L/150mm	4/m <sup>2</sup>
Vih	Viola hederacea	Australian Native Violet	0.1m x 0.5m	2.5L/150mm	4/m <sup>2</sup>
<b>Grasses</b>					
Dlc					
Dic	Dianella caerulea 'Cassa Blue'	Cassa Blue Flax Lily	0.7m x 1m	Growtube	6/m <sup>2</sup>
DII	Dianella longifolia	Pale Flax Lily	0.6m x 0.4m	Growtube	6/m <sup>2</sup>
Dlr	Dianella revoluta	Black Anther Flax Lily	0.5m x 0.5m	Growtube	6/m <sup>2</sup>
DIt	Dianella tasmanica	Blue Flax Lily	0.7m x 1m	Growtube	6/m <sup>2</sup>
LDIC	Lomandra longifolia 'Cassica'	Cassica Mat Rush	1.2m x 0.8m	Growtube	6/m <sup>2</sup>
LDIT	Lomandra longifolia 'Tanika'	Tanika Mat Rush	0.5m x 0.5m	Growtube	6/m <sup>2</sup>
POAIE	Poa labillardieri	Tussock Grass	0.6m x 0.4m	Growtube	6/m <sup>2</sup>
THt	Themeda triandra	Kangaroo Grass	1m x 0.5m	Growtube	6/m <sup>2</sup>

## Large Shrubs (Hedging)



*Banksia marginata*



*Banksia spinulosa*



*Callistemon 'Balls of Fire'*



*Callistemon 'Kings Park'*



*Callistemon 'Red Alert'*



*Grevillea 'Poorinda Peter'*



*Grevillea 'Poorinda Queen'*



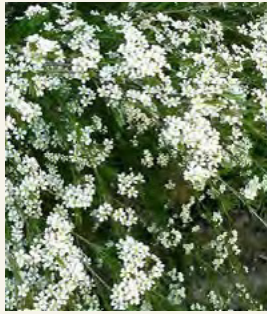
*Grevillea 'Red Hooks'*



## Small Shrubs



*Angiozanthus 'Bush Gem'*



*Baeckea linifolia*



*Grevillea confertifolia*



*Grevillea lanigerav*

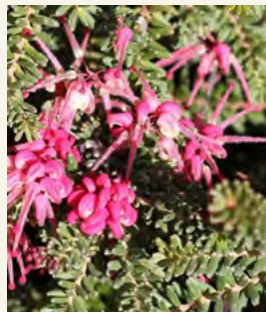
## Small Shrubs (Hedging to Frontage)



*Callistemon viminalis*



*Philotheca myoproides*



*Grevillea baueri*

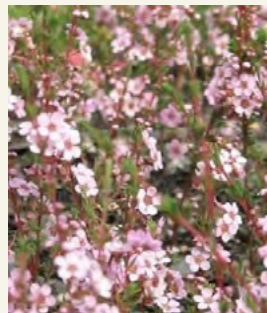


*Westringia 'Grey Box'*

## Groundcover/Climbers



*Acacia cognata 'Limelight'*



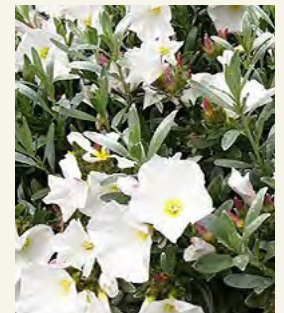
*Astartea fascicularis*



*Banksia 'Birthday Candles'*



*Brachyscome multifida*



*Convolvulus cneorum*



*Grevillea 'Bronze Rambler'*



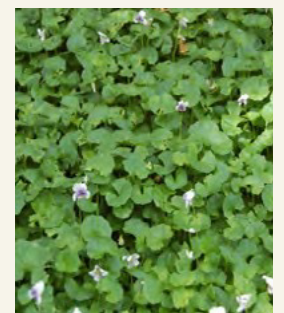
*Hardenbergia violacea*



*Myoporum parvifolium*



*Rhagodia spinescens*



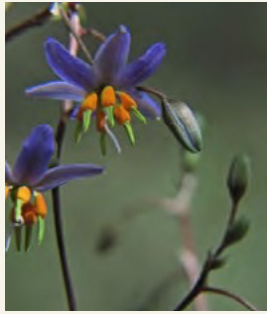
*Viola hederacea*



## Grasses



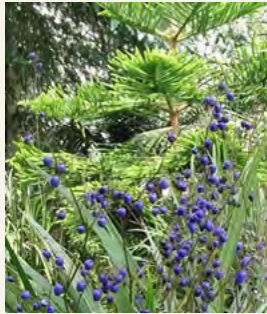
*Camellia sasanqua*



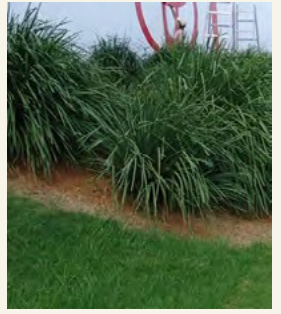
*Cupressus sp.*



*Michelia figo*



*Thuja sp.*



*Viburnum tinus*



*Lomandra 'Tanika'*



*Poa labillardieri*



*Themeda triandra*



# Landscape Concept Planting Palette

## Exotic Plants

Below is a list of exotic plants that Ginninderry encourages you to plant when landscaping your garden.

Code	Botanical Name	Common Name	Mature Plant Size	Container Size	Spacing
<b>Small trees/Large Shrubs</b>					
Acb	Acer buergeranum	Trident Maple	5m x 3m	100L	
Acj	Acer japonicum	Japanese Maple	5m x 5m	100L	
Cil	Citrus x Lemon	Lemon	-	25L/300mm	1.5/m2
Cra	Cordyline Australis	Cabbage Tree	2m x 1.5m	5L/200mm	3/m <sup>2</sup>
CNc	Cornus capitata	Evergreen Dogwood	3m x 3m	25L/300mm	1.5/m <sup>2</sup>
Dyk	Diospyros kaki	Japanese Persimmon	6-8m x 6m	100L	-
Dia	Dicksonia antarctica	Soft Tree Fern	2-4m x 2.5m	25L/300mm	-
Kop	Koelreuteria paniculata	Golden Rain Tree	5m x 8m	100L	-
Lai	Lagerstroemia indica	Crepe Myrtle	3m x 2m	25L/300mm	-
MGI	Magnolia grandiflora 'Little Gem'	-	6m x 3m	100L	-
Mgso	Magnolia soulangeana	Saucer Magnolia	4m (h)	100L	-
Mgst	Magnolia stellata	Star Magnolia	4-6m x 4.5m	100L	-
Pcp	Prunus cerasifera 'Pissardii'	Cherry Plum	5m x 5m	100L	-
Pcs	Prunus cerasifera 'Spire'	Black Cherry Plum	6m x 2m	100L	-
Pyc	Pyrus calleryana	Ornamental Pear	11m x 4m	100L	-
<b>Large Shrubs (Hedging)</b>					
CAMs	Camellia sasanqua	Sasanqua Camellia	4m x 3m	25L/300mm	1.5/m <sup>2</sup>
Cup	Cupressus sp.	Cypress Sp.	-	25L/300mm	-
Eiv	Escallonia sp. 'Iveyi'	Escallonia	3m x 3m	25L/300mm	1.5/m <sup>2</sup>
MIlf	Michelia figo	Port Wine Magnolia	2m x 2m	25L/300mm	1.5/m <sup>2</sup>
Pitt	Pittosporum tenuifolium 'Green Pillar'	Pittosporum	3m x 2m	25L/300mm	1.5/m2
Pla	Prunus laurocerasus	Cherry Laurel	5m x 3m	25L/300mm	-
Plu	Prunus lusitanica	Portugese Laurel	4m x 2m	25L/300mm	-
THj	Thuja Sp.	Cedar Sp.	-	25L/300mm	-
VIO	Viburnum odoratissimum	Sweet Viburnum	4-6m x 4m	25L/300mm	1.5/m <sup>2</sup>
VIT	Viburnum tinus	Lauristinus	3m x 3m	25L/300mm	1.5/m <sup>2</sup>

Small Shrubs					
Azs	Azalea sp.	Azalea		5L/200mm - 25L/300mm	3/m <sup>2</sup>
Bey	Beschorneria yuccoides	Mexican Lily	1-1.5m x 1-2m	25L/300mm	-
Epp	Escallonia sp. 'Pink Pixie'	Escallonia	0.8m x 0.8m	5L/200mm	3/m <sup>2</sup>
LVA	Lavandula angustifolia	White English Lavender	0.3m x 0.3m	5L/200mm	3/m <sup>2</sup>
LOn	Lonicera nitida	Dwarf Honeysuckle	2m x 3m	25L/300mm	1.5/m <sup>2</sup>
NNn	Nandina domestica 'Nana'	Dwarf Screen Bamboo	0.3m x 2m	5L/200mm	3/m <sup>2</sup>
Small Shrubs (Hedging to Frontage)					
ABg	Abelia grandiflora	Glossy Abelia	1.5m x 1.2m	5L/200mm	3/m <sup>2</sup>
BUs	Buxus sempervirens	English Box	2m x 1m	5L/200mm	3/m <sup>2</sup>
CYt	Choisya ternata	Mexican Orange Blossom	1.5m x 1.5m	25L/300mm	1.5/m <sup>2</sup>
Erk	Escallonia sp. 'Red Knight'	Escallonia	1.5m x 1.5m	25L/300mm	1.5/m <sup>2</sup>
GAf	Gardenia augusta 'Florida'	Gardenia Florida	1-1.5m x 1m	5L/200mm	3/m <sup>2</sup>
Groundcovers/Climbers					
AJr	Ajuga reptans	Common Bugle	0.1m x 0.3m	2.5L/150mm	4/m <sup>2</sup>
COPk	Coprosma x kirkii	Mirror Plant	0.6m x 1m	2.5L/150mm	4/m <sup>2</sup>
HEc	Hedera canariensis (green form only)	Canary Island Ivy	n/a	2.5L/150mm	4/m <sup>2</sup>
HYc	Hypericum calycinum	Aaron's Beard	0.3m x 0.5m	2.5L/150mm	4/m <sup>2</sup>
RSI	Rosmarinus lavandulaceus	Creeping Rosemary	0.3m x 0.3m	2.5L/150mm	4/m <sup>2</sup>
TRj	Trachelospermum jasminoides	Chinese Star Jasmine	n/a	2.5L/150mm	4/m <sup>2</sup>
Vla	Vitis amurensis	Ornamental Grape Vine	n/a	2.5L/150mm	-
Grasses					
LIEg	Liriope 'Evergreen Giant'	Evergreen Giant Lily	0.4m x 0.7m	Growtube	6/m <sup>2</sup>
Opn	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	0.2m x 0.8m	Growtube	6/m <sup>2</sup>

## Grasses



*Liriope 'Evergreen Giant'*



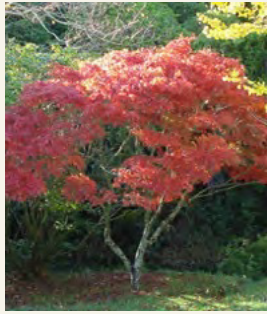
*Ophiopogon 'Nigrescens'*



## Small Trees/ Large Shrubs



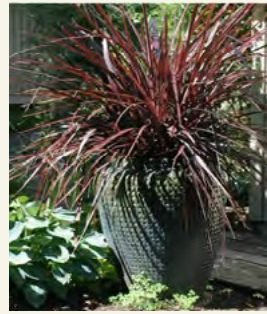
*Acer buergerianum*



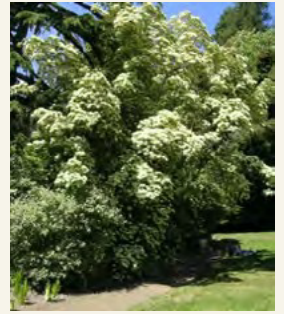
*Acer japonicum*



*Citrus x limon*



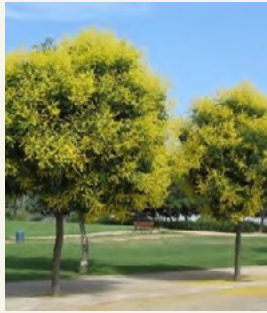
*Cordyline australis*



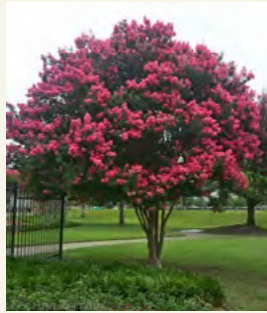
*Cornus capitata*



*Diospyros kaki*



*Koelreuteria paniculata*



*Lagerstroemia indica*



*Magnolia grandiflora*



*Magnolia soulangeana*



*Magnolia stellata*



*Prunus cerasifera 'Pissardii'*



*Prunus cerasifera 'Spire'*



*Ptrus calleryana*

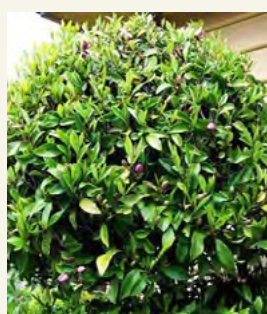
## Large Shrubs (Hedging)



*Camellia sasanqua*



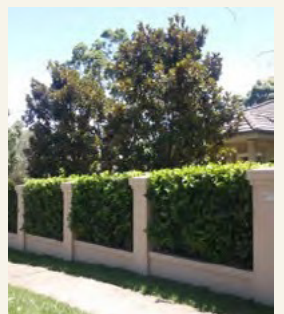
*Cupressus sp.*



*Michelia figo*



*Thuja sp.*



*Viburnum tinus*



## Small Shrubs



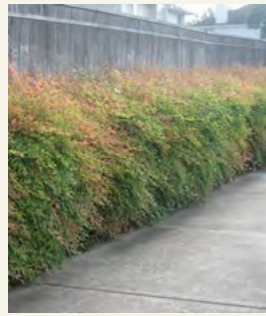
*Camellia sasanqua*



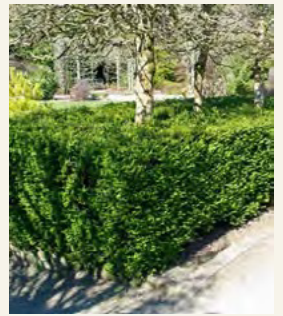
*Cupressus sp.*



*Michelia figo*



*Thuja sp.*



*Viburnum tinus*

## Small Shrubs (Hedging to Frontage)



*Abelia grandiflora*



*Buxus sempervirens*

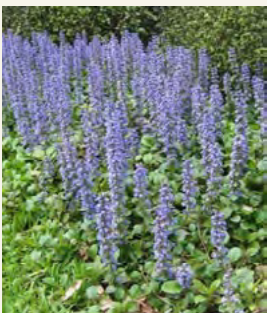


*Choisya ternata*



*Gardenia augusta*

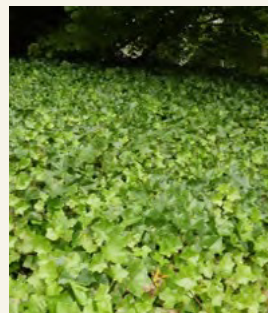
## Groundcover/Climbers



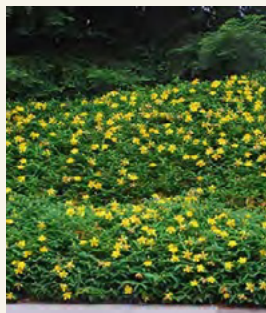
*Ajuga reptans*



*Coprosma x 'Kirkii'*



*Hedera canariensis*



*Hypericum calycinum*



*Rosmarinus lavandulaceus*



*Trachelospermum sp.*



*Vitis amurensis*



# Pest Plant List

## Not for use at Ginninderry

Botanical Name	Common Name	Reason
<i>Ailanthus altissima</i>	Tree of Heaven	Declared pest plant of the ACT
<i>Alnus glutinosa</i>	Black Alder	Declared pest plant of the ACT
<i>Alternanthera philoxeroides</i>	Alligator Weed	Declared pest plant of the ACT
<i>Andropogon gayanus</i>	Gamba Grass	Declared pest plant of the ACT
<i>Annona glabra</i>	Pond Apple	Declared pest plant of the ACT
<i>Anredera cordifolia</i>	Madeira Vine	Declared pest plant of the ACT
<i>Asparagus aethiopicus</i>	Ground Asparagus Fern	Declared pest plant of the ACT
<i>Asparagus africanus</i>	Climbing Asparagus Fern	Declared pest plant of the ACT
<i>Asparagus asparagoides</i>	Bridal Creeper	Declared pest plant of the ACT
<i>Asparagus asparagoides</i> Western Cape Form	Bridal Creeper – Western Cape Form	Declared pest plant of the ACT
<i>Asparagus declinatus</i>	Bridal Veil	Declared pest plant of the ACT
<i>Asparagus plumosa</i>	Climbing Asparagus Fern	Declared pest plant of the ACT
<i>Asparagus scandens</i>	Asparagus Fern	Declared pest plant of the ACT
<i>Austrocylindropuntia</i> (ALL species)	Coral Cacti	Declared pest plant of the ACT
<i>Cabomba caroliniana</i>	Cabomba	Declared pest plant of the ACT
<i>Carduus nutans</i>	Nodding Thistle	Declared pest plant of the ACT
<i>Carduus pycnocephalus</i>	Slender Thistle	Declared pest plant of the ACT
<i>Carduus tenuiflorus</i>	Slender Thistle	Declared pest plant of the ACT
<i>Carthamus lanatus</i>	Saffron Thistle	Declared pest plant of the ACT
<i>Celtis australis</i>	Nettle Tree	Declared pest plant of the ACT
<i>Centaurea maculosa</i>	Spotted Knapweed	Declared pest plant of the ACT
<i>Chrysanthemoides monilifera</i>	Bitou Bush / Boneseed	Declared pest plant of the ACT
<i>Cortaderia jubata</i>	Pampas Grass	Declared pest plant of the ACT
<i>Cortaderia selloana</i>	Pampas Grass	Declared pest plant of the ACT
<i>Cotoneaster franchettii</i>	Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster glaucophyllus</i>	Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster pannosus</i>	Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster salicifolius</i>	Willow-leaf Cotoneaster	Declared pest plant of the ACT
<i>Cotoneaster simonsii</i>	Cotoneaster	Declared pest plant of the ACT

Botanical Name	Common Name	Reason
<i>Crataegus monogyna</i>	Hawthorn	Declared pest plant of the ACT
<i>Cryptostegia grandiflora</i>	Rubber Vine	Declared pest plant of the ACT
<i>Cylindropuntia</i> (ALL species)	Pear Cacti	Declared pest plant of the ACT
<i>Cytisus</i> (ALL species)	Broom species	Declared pest plant of the ACT
<i>Echium plantagineum</i>	Paterson's Curse	Declared pest plant of the ACT
<i>Echium vulgare</i>	Viper's Bugloss	Declared pest plant of the ACT
<i>Eichornia crassipes</i>	Water Hyacinth	Declared pest plant of the ACT
<i>Equisetum</i> species	Horsetail	Declared pest plant of the ACT
<i>Eragrostis curvula</i>	African Love Grass	Declared pest plant of the ACT
<i>Genista</i> (ALL species)	Broom species	Declared pest plant of the ACT
<i>Gymnocoronis spilanthoides</i>	Senegal Tea Plant	Declared pest plant of the ACT
<i>Hedera helix</i>	English Ivy	Declared pest plant of the ACT
<i>Hieracium aurantiacum</i>	Orange Hawkweed	Declared pest plant of the ACT
<i>Hieracium pilosella</i>	Mouse-ear Hawkweed	Declared pest plant of the ACT
<i>Hymenachne amplexicaulis</i>	Hymenachne	Declared pest plant of the ACT
<i>Hypericum perforatum</i>	St John's Wort	Declared pest plant of the ACT
<i>Jatropha gossypifolia</i>	Bellyache Bush	Declared pest plant of the ACT
<i>Kochia scoparia</i>	Kochia	Declared pest plant of the ACT
<i>Lagarosiphon major</i>	Lagarosiphon	Declared pest plant of the ACT
<i>Lantana camara</i>	Lantana	Declared pest plant of the ACT
<i>Ligustrum lucidum</i>	Broad-leaf privet	Declared pest plant of the ACT
<i>Ligustrum sinense</i>	Narrow-leaf privet	Declared pest plant of the ACT
<i>Lonicera japonica</i>	Japanese Honeysuckle	Declared pest plant of the ACT
<i>Lycium ferocissimum</i>	African Boxthorn	Declared pest plant of the ACT
<i>Macfadyena unguis-cati</i>	Cat's Claw Creeper	Declared pest plant of the ACT
<i>Mimosa pigra</i>	Mimosa	Declared pest plant of the ACT
<i>Miscanthus sinensis</i> (ALL varieties)	Chinese Fairy Grass	Declared pest plant of the ACT
<i>Myriophyllum aquaticum</i>	Parrot's Feather	Declared pest plant of the ACT
<i>Nasella tenuissima</i>	Mexican Feather Grass	Declared pest plant of the ACT
<i>Nassella charruana</i>	Lobed Needlegrass	Declared pest plant of the ACT
<i>Nassella neesiana</i>	Chilean Needle Grass	Declared pest plant of the ACT
<i>Nassella trichotoma</i>	Serrated Tussock	Declared pest plant of the ACT
<i>Onopordum acanthium</i>	Scotch Thistle	Declared pest plant of the ACT
<i>Onopordum illyricum</i>	Illyrian Thistle	Declared pest plant of the ACT
<i>Opuntia</i> (ALL species) (excludes <i>O. ficus-indica</i> )		
Prickly Pears	Declared pest plant of the ACT	
<i>Parkinsonia aculeata</i>	Parkinsonia	Declared pest plant of the ACT
<i>Parthenium hysterophorus</i>	Parthenium Weed	Declared pest plant of the ACT
<i>Pennisetum setaceum</i>	African Fountain Grass	Declared pest plant of the ACT

Botanical Name	Common Name	Reason
<i>Phyllostachys aurea</i>	Yellow Bamboo	Declared pest plant of the ACT
<i>Pinus radiata</i>	Radiata Pine	Declared pest plant of the ACT
<i>Pistia stratiotes</i>	Water Lettuce	Declared pest plant of the ACT
<i>Populus alba</i>	White Poplar	Declared pest plant of the ACT
<i>Populus nigra</i> 'Italica'	Lombardy Poplar	Declared pest plant of the ACT
<i>Prosopis</i> spp.	Mesquite	Declared pest plant of the ACT
<i>Pyracantha angustifolia</i>	Firethorn	Declared pest plant of the ACT
<i>Pyracantha coccinea</i>	Scarlet Firethorn	Declared pest plant of the ACT
<i>Pyracantha fortuneana</i>	Firethorn	Declared pest plant of the ACT
<i>Robinia pseudoacacia</i>	False Acacia	Declared pest plant of the ACT
<i>Rosa rubiginosa</i>	Sweet Briar, Briar Rose	Declared pest plant of the ACT
<i>Rubus fruticosus</i> (aggregate) All species except for the permitted cultivars:  <i>R. armeniacus</i> and <i>R. ulmifolius</i> species hybrid <i>R. armeniacus</i> species hybrid <i>R. ursinus</i> and <i>R. armeniacus</i> species hybrid	All Blackberry except for the permitted cultivars:  Black Satin, Chester Thornless, Dirksen Loch Ne and Chehale.	Declared pest plant of the ACT
<i>Sagittaria platyphylla</i>	Sagittaria	Declared pest plant of the ACT
<i>Salix</i> ALL species of willow, except for the permitted species:  <i>Salix babylonica</i> <i>S. babylonica</i> <i>S. caladendron</i> <i>S. reichardtii</i>	All Willows except for the permitted species:  Weeping Willow Weeping Willow Pussy Willow Sterile Pussy Willow	Declared pest plant of the ACT
<i>Salvinia molesta</i>	Salvinia	Declared pest plant of the ACT
<i>Senecio madagascariensis</i>	Fireweed	Declared pest plant of the ACT
<i>Solanum elaeagnifolium</i>	Silverleaf Nightshade	Declared pest plant of the ACT
<i>Sorbus</i> sp.	Service Tree, Rowan	Declared pest plant of the ACT
<i>Spartium junceum</i>	Spanish Broom	Declared pest plant of the ACT
<i>Tamarix aphylla</i>	Athel Pine	
<i>Toxicodendron succedaneum</i>	Rhus Tree	Declared pest plant of the ACT
<i>Ulex europaeus</i>	Gorse	Declared pest plant of the ACT
<i>Vinca major</i>	Periwinkle	Declared pest plant of the ACT
<i>Xanthium occidentale</i>	Noogoora Burr	Declared pest plant of the ACT
<i>Xanthium spinosum</i>	Bathurst Burr	Declared pest plant of the ACT
<b>Landscaping Plant Species</b>		
<i>Agapanthus</i> species	Agapanthus	Multiple varieties where the seed is easily distributed and forms dense monocultures in conservation areas

Botanical Name	Common Name	Reason
Nandina domestica	Sacred Bamboo	Berries toxic to birds, seed easily distributed into the conservation zone
Photinia species	Photinia	Seed easily distributed into conservation zone
Wisteria sinensis	Chinese Wisteria	Spread by seed, particularly along established waterways



# Housing Development Requirements Application Form

# Design Application Form

Please fill in and submit to [designs@ginninderry.com](mailto:designs@ginninderry.com)

(A Design re-submission administration fee will apply after the 1<sup>st</sup> approval)

## Property details

Block/ Section	
Block size	

## Purchaser details

Name	
Phone	
Mobile	
Email	

## Designer details

Name	
Company	
Phone	
Mobile	
Email	

## Builder details

Name	
Company	
Phone	
Mobile	
Email	

## Contact us:

E: [designs@ginninderry.com](mailto:designs@ginninderry.com)

P: 1800 316 900

## Required documentation:

### 1. Site plan @ 1:200

- Overall Building Footprint with setback dimensions to the boundaries
- North point site contours
- Services and Easements
- Location of all AC, HWS, RWT, Solar Battery, Fan units, clothes lines
- Extent of retaining walls
- Location and dimensions of (PPOS)
- Finished floor levels for the house and garage
- Area schedule of the dwelling including block size / POS / PPOS / all GFA / Garage / carports / hardstands

### 2. Sediment and Erosion Control Plan @ 1:200

### 3. Floor Plans @ 1:100

- Fully dimensioned floor plan for each level
- Show all room names
- All internal walls / doors
- Finished levels
- Area schedule

### 4. Elevations @ 1:100

- North / South / East / West
- NGL & FGL
- FFL / FCL
- Roof Pitch
- Extent of Cut and Fill

### 5. Sections @ 1:100

- Section A-A
- Section B-B
- NGL & FGL
- All structure / internal walls
- Extent of Cut and Fill and retaining walls

### 6. Roof Plan @ 1:100

- Roof pitches
- Eaves depths
- Solar panel location
- Roof material & colour

### 7. Planting / Fencing Plan @ 1:200

- All side and rear fencing (refer to PCP's for each block)
- All courtyard walls
- Mail box type, material and location
- Extent of all retaining walls
- Area schedule of soft planting zone / canopy cover / paved or non-permeable areas

### 8. External Colours and Finishes Schedule

- Front façades @ 1:100
- Identify all front façade materials and colours
- Schedule or a table specification and image of proposed materials (if alternate from the pre-approved finishes)

### 9. NatHERS EER Certificate

- NatHERS energy efficiency rating report and certificate generated by NatHERS approved software package
- NatHERS stamped plans

### 10. Sustainability Schedule

# External Colours and Finishes Schedule

Please tick the boxes below

## Metal Roof – Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum	<input type="checkbox"/> Woodland Grey	

## Facia & Gutters

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum	<input type="checkbox"/> Woodland Grey	

## Garage Doors

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray		
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver		
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Blushed Teak	<input type="checkbox"/> Classic Cedar	<input type="checkbox"/> Iron Bark	<input type="checkbox"/> Kwila	
<input type="checkbox"/> Merbau	<input type="checkbox"/> Silky Oak	<input type="checkbox"/> Weathered Timber	<input type="checkbox"/> Western Red Cedar	<input type="checkbox"/> Woodland Grey		

## Window Frames

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum	<input type="checkbox"/> Woodland Grey	

## Façade Colours Walls / Render / Cladding

<input type="checkbox"/> Basalt	<input type="checkbox"/> Cove	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Natural Pearl	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Beige Royal	<input type="checkbox"/> Braid	<input type="checkbox"/> Cru	<input type="checkbox"/> Lexicon
<input type="checkbox"/> Light Rice	<input type="checkbox"/> Linseed	<input type="checkbox"/> Natural White	<input type="checkbox"/> Oyster Linen	<input type="checkbox"/> Terrace White	<input type="checkbox"/> Toffee Fingers
<input type="checkbox"/> Tuft	<input type="checkbox"/> Warm Neutral	<input type="checkbox"/> Woodland Grey			

Fence Colour - Colorbond

Side and Rear Boundary Fencing

☐ Jasper

Fence Infill Panel / Street Facing Fencing - Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist			

External Colours and Finishes Schedule:

All specified colours and materials for the building’s exterior must be listed below. Please include brand, specification, profile and colour of proposed materials, sample photos/swatches should also be provided.

	Brand	Type/Range:	Colour
Bricks:			
Cladding 1:			
Cladding 2:			
Feature Material:			
Sunhoods/awnings:			
Retaining walls:			
Courtyard walls:			
Mailbox:			

F.O. Feature area only



# Sustainability Schedule

Block		Section		Size (m²)	
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Minimum Requirements as per element 2.0 Efficient Home Design

## Solar PV Array

<250m²: 2kW 251<350m²: 3kW 351<500m²: 4kW >500m²: 5kW	Size (kW)
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Home Energy Management System	<input type="checkbox"/> Evergen <input type="checkbox"/> Reposit (battery only)
-------------------------------	---

**Inverter:** Must be compatible with Home Energy Management System selected above

Brand	
Model No.	

## Battery (optional):

Brand	
Size (kWh)	

**Hot Water System:** Temperature range to -5C

	<input type="checkbox"/> Solar*	<input type="checkbox"/> Heat Pump
Brand		
Model No.		

\*Include model of storage tank and solar collectors (if applicable)

## Air Conditioning System (if installed):

EER/COP Min: >3/>3.5 SPL Heat/Cool: <57/<57 at 1.0m Temp range: -10°C to 43°C	<input type="checkbox"/> RCAC <input type="checkbox"/> Other, please specify
---	---

Brand			
Indoor Model No.			
Outdoor Model No.			
EER		COP	
SPL Cooling		SPL Heating	

**Rainwater Tank:** Must be connected to a toilet, laundry cold water and external taps

<250m²: n/a 251<350m²: 2,000Lt 351<599m²: 4,000Lt 600<800m²: 8,000Lt >801 m²: 10,000Lt	Size (L)
--	----------

## Water Fixtures note:

Please complete or provide equivalent selection list (must clearly show star rating)

Note: Specification sheets, builders inclusions lists sheets or contract excerpts will not be accepted.

## Water Fixtures: (Includes all sink mixers, bath mixers, shower heads, toilet suites)

Room	Type	Model	Flow Rate	Star Rating
Eg. Kitchen	Eg. Sink mixer	Eg. Clark6310	Eg. 5L/min	Eg. 4 Star

# Front Landscaping Application Form

## Property details

Block	
Section	
Block size	
Suburb	

## Purchaser details

Name	
Phone	
Mobile	
Email	
Application date	
Anticipated move in date	
Preferred start date	
Preferred finishes & plants*	

## Required documents

### 1. Front Landscaping Application Form

### 2. Approved Landscape/Fencing Plan @ 1:200

- All side and rear fencing (refer to PCP's for each block)
- All courtyard walls
- Mail box type, material and location
- Extent of all retaining walls
- Area schedule of soft planting zone / canopy cover / paved or non-permeable areas
- Services and easements
- Finished floor levels for the house and garage as well as gradient of driveway

## Please note:

1. Following receipt of your application a representative from a Ginninderry nominated landscape company will organise a consultation and develop a landscape plan for your front garden
2. Typical front garden finishes are indicated on the example block plan diagrams within Part 1 of the Ginninderry Housing Design Requirements.
3. We are unable to assess your application until we receive all required documents.
4. The front landscape offer covers soft landscaping works only.
5. Submit this form up to 12 weeks before your anticipated move in date.
6. Typical native, exotic and edible plant species suitable for use at Ginninderry are available. Refer to Building Resources on the website for more information.
7. We will provide a minimum of 2 trees in the landscape package

\*Subject to availability

**Ginninderry** 