

Block Disclosure Plans

Macnamara Land Release



Suburban Land
Agency



RIVERVIEW
GROUP

Macnamara Land Ready Price List

Numeric Section	Numeric Block	Size m ²	Price	Typology	Zoning	Address
*6	6	770	\$674,000	Signature	RZ1	95 Asimus Avenue
6	11	935	\$804,000	Edge	RZ1	6 llama Stone Way
7	1	558	\$580,000	Classic	RZ3	25 Bolza Street
8	14	547	\$585,000	Classic	RZ3	26 Bolza Street
*13	5	560	\$615,000	Classic	RZ3	49 Sherrard Street
*13	7	439	\$538,125	Courtyard	RZ3	45 Sherrard Street
*13	9	548	\$604,750	Classic	RZ3	41 Sherrard Street
13	14	504	\$563,750	Classic	RZ3	31 Sherrard Street
14	1	527	\$574,000	Classic	RZ3	38 Sherrard Street
14	9	560	\$615,000	Classic	RZ3	24 Bornemissza Crescent
*14	14	439	\$538,125	Courtyard	RZ3	34 Bornemissza Crescent
*15	3	420	\$522,750	Courtyard	RZ3	33 Bornemissza Crescent
16	1	627	\$681,625	Edge	RZ3	62 Eric Willmot Way
16	15	630	\$681,625	Edge	RZ3	60 Eric Willmot Way
*17	26	629	\$681,625	Edge	RZ3	66 Eric Willmot Way
18	10	1083	\$871,250	Edge	RZ3	78 Eric Willmot Way
18	14	510	\$640,625	Edge	RZ3	86 Eric Willmot Way

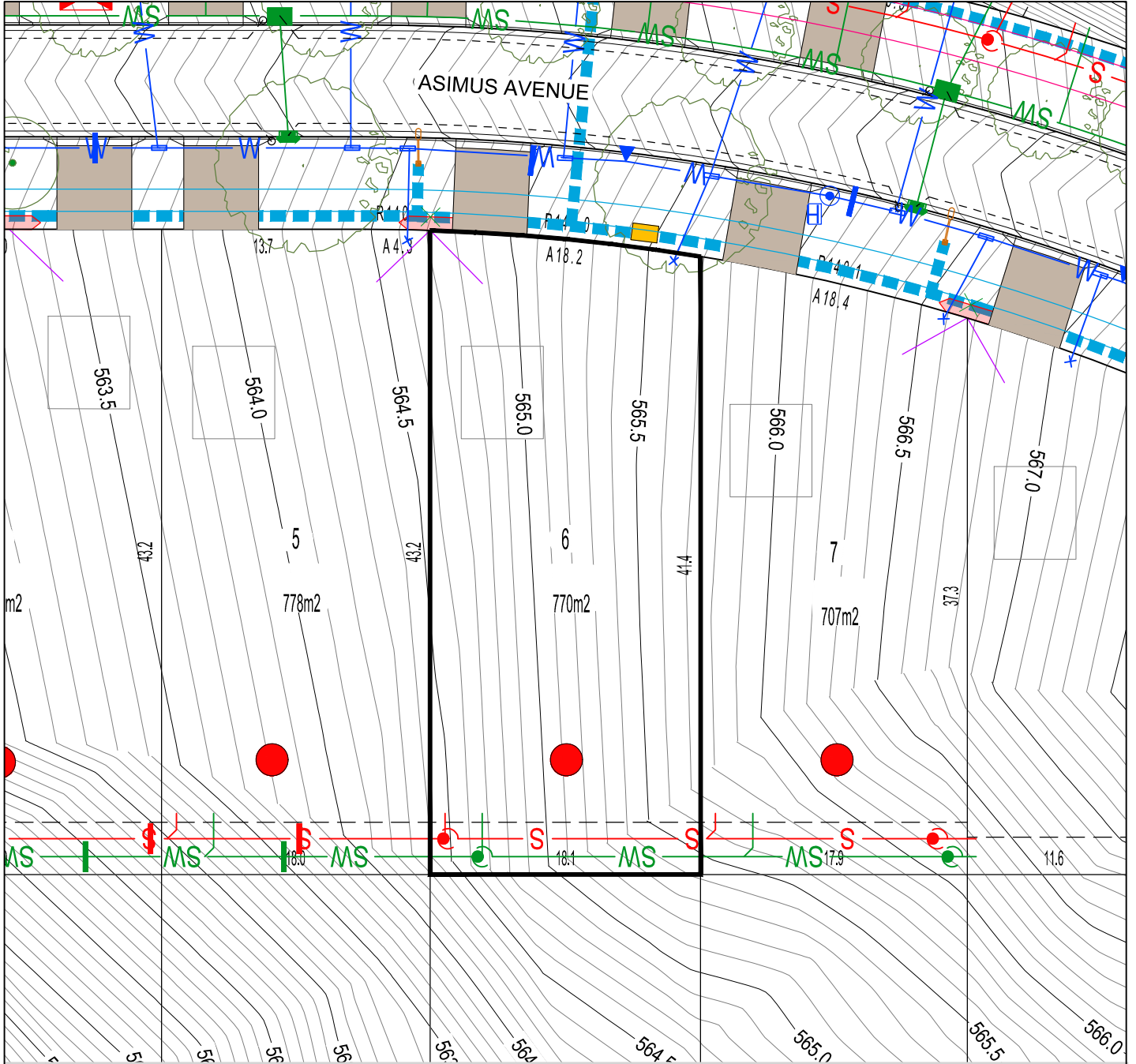
*Denotes under offer

Conditions:

Before purchasing a Block, you or your Agent must provide the Ginninderry representative with:

1. photo identification (e.g. driver's license or passport);
2. proof of your current address (e.g. driver's license, current bank statement, public utility record or other proof of address acceptable to Ginninderry); and
3. Financial Evidence, meaning:
 - a. a letter from a broker indicating that you have loan pre-approval of a sufficient amount to purchase the Block;
 - b. a letter from a bank or financial institution indicating that you have loan pre-approval of a sufficient amount to purchase the Block; or
 - c. a statutory declaration by you in the form provided [here](#).

























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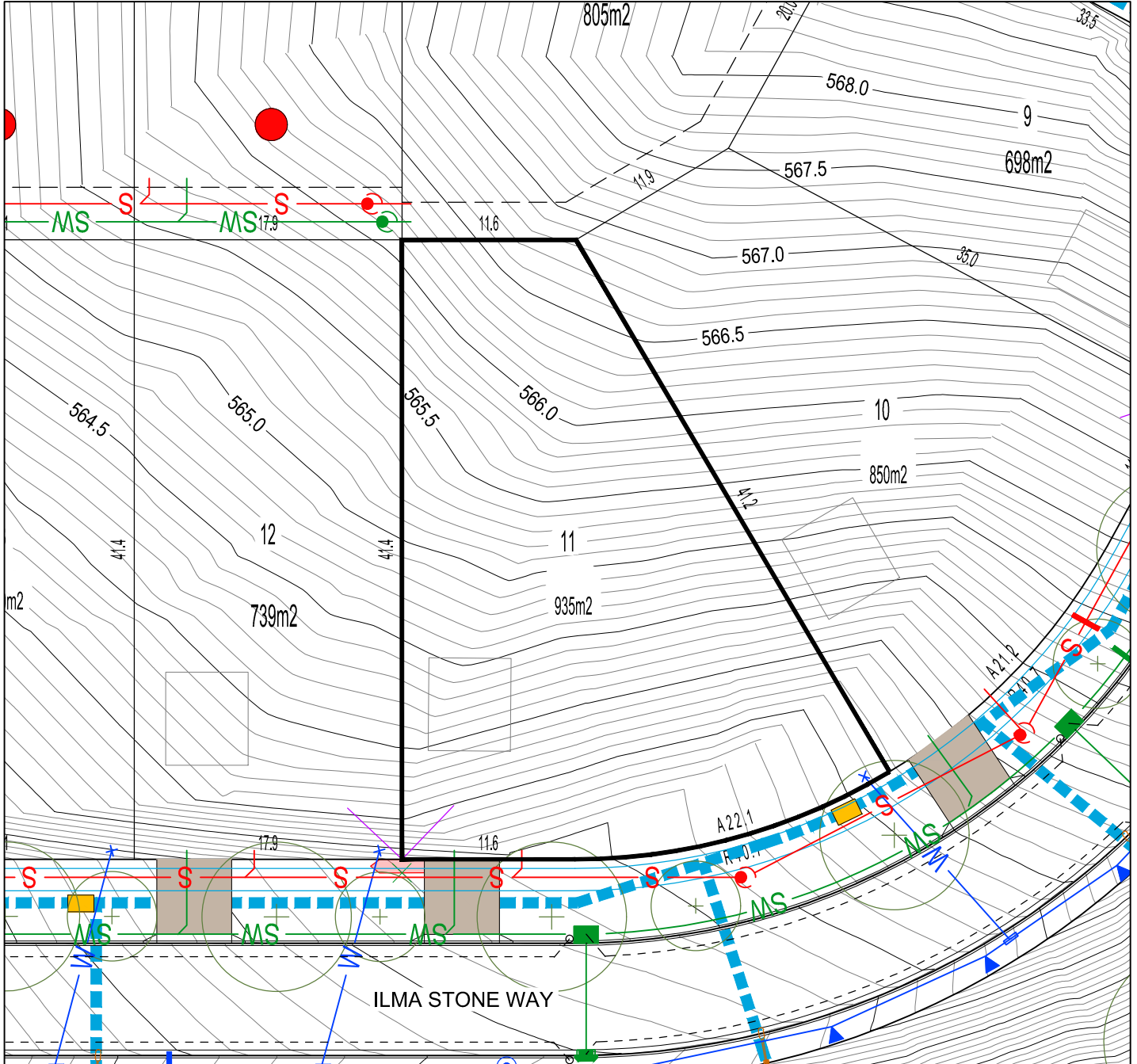
BLOCK LAYOUT - SCALE 1:400

ISSUE DATE: May 2024

LEGEND

	LOT BOUNDARY		SEWER MAIN / MANHOLE / TIE		SERVICES TRENCH		WASTE COLLECTION POINT
	EASEMENT		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNC PIT		SUBSTATION
	CONTOUR 0.5m INTERVAL		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT / OPEN SPACE PEDESTRAIN LIGHTING		STREET TREES
	CONTOUR 0.1m INTERVAL		WATER MAIN (IRRIGATION)		ABOVE GROUND LINK PILLAR		GARAGE OFFSET FROM REAR BOUNDARY
	RETAINING WALL		REINFORCED CONCRETE DRIVEWAY BY PURCHASER		ABOVE GROUND MINIPILLAR		BLOCK SUBJECT TO MID-SIZED PROVISIONS
	SEWER MAINTENANCE ACCESS ROUTE REQUIRED		POTENTIALLY NOISE AFFECTED BLOCK		ELECTRICAL PIT		MANDATORY LOT CONTROL - WALL INDENT FOR WATER METER
			ONLY ONE (1) ONSITE PARKING SPACE REQUIRED				

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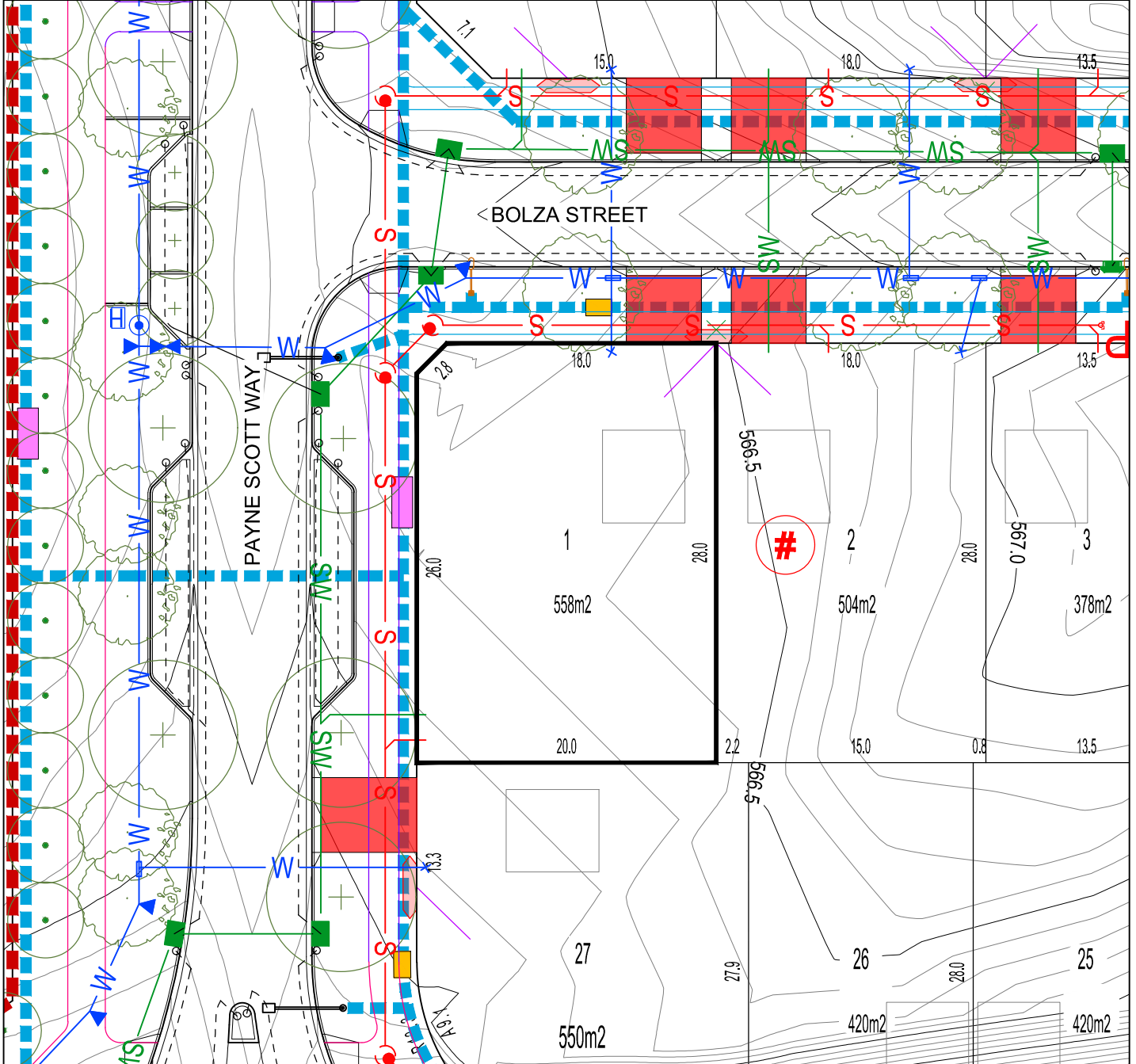
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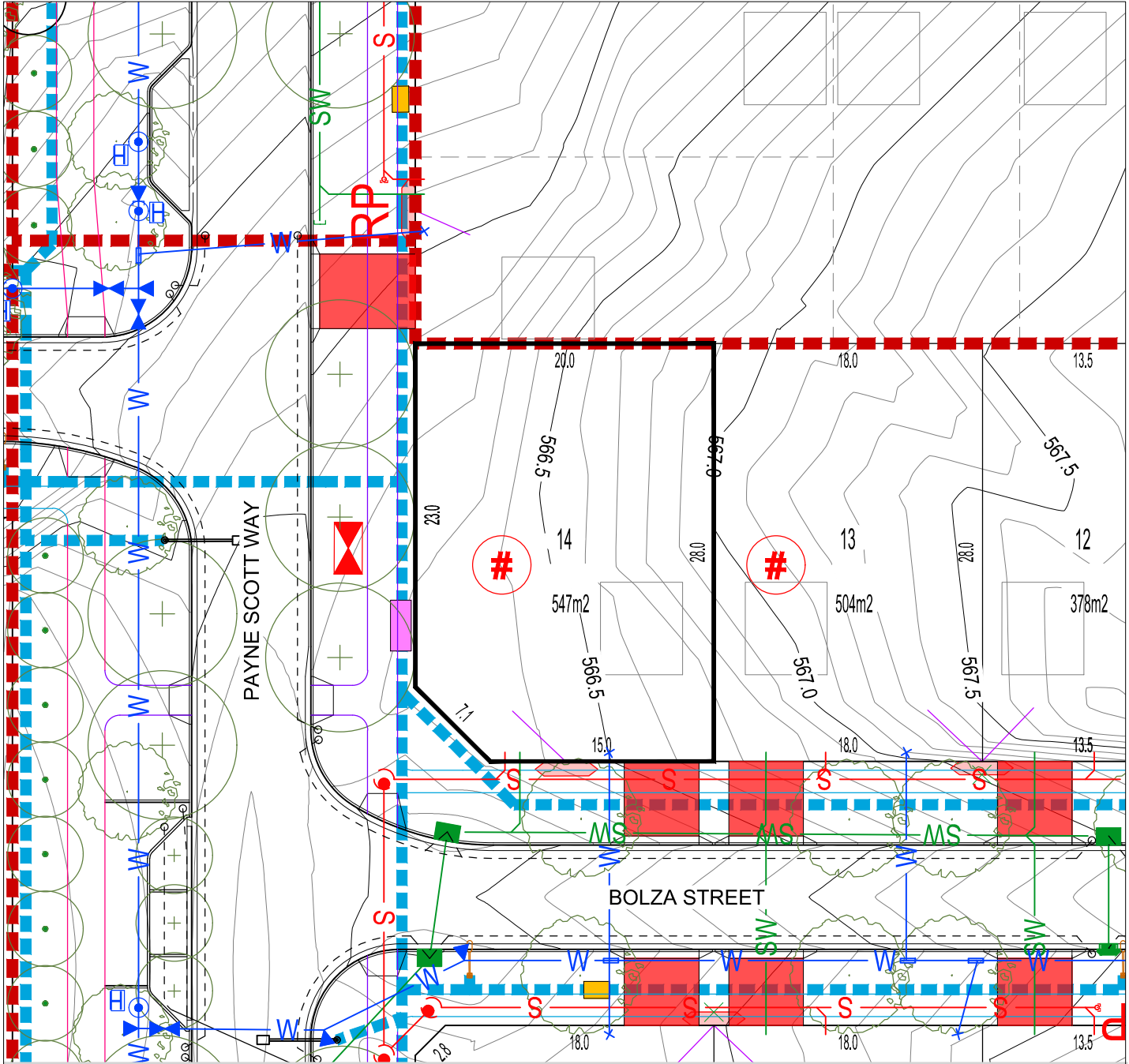
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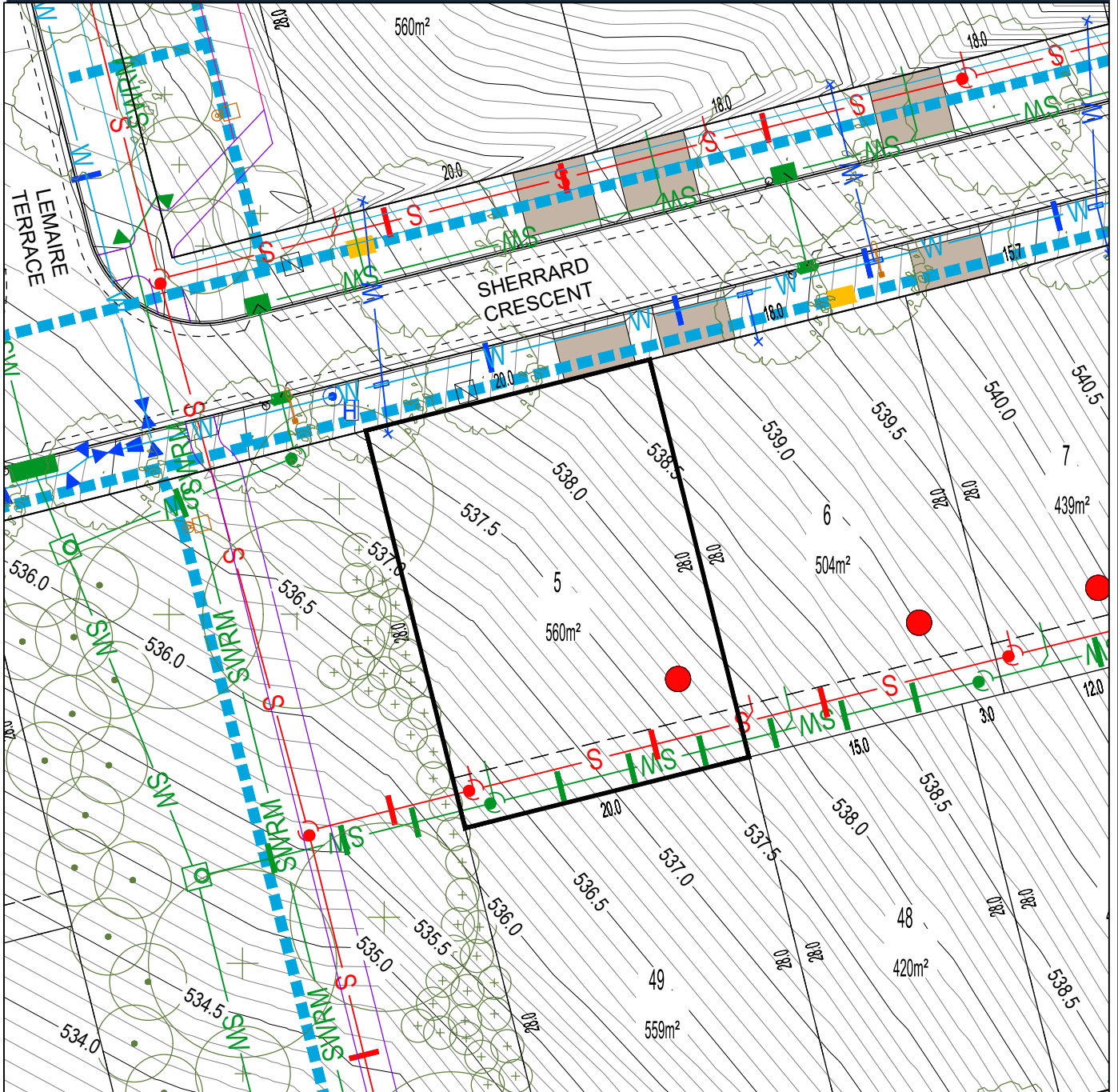
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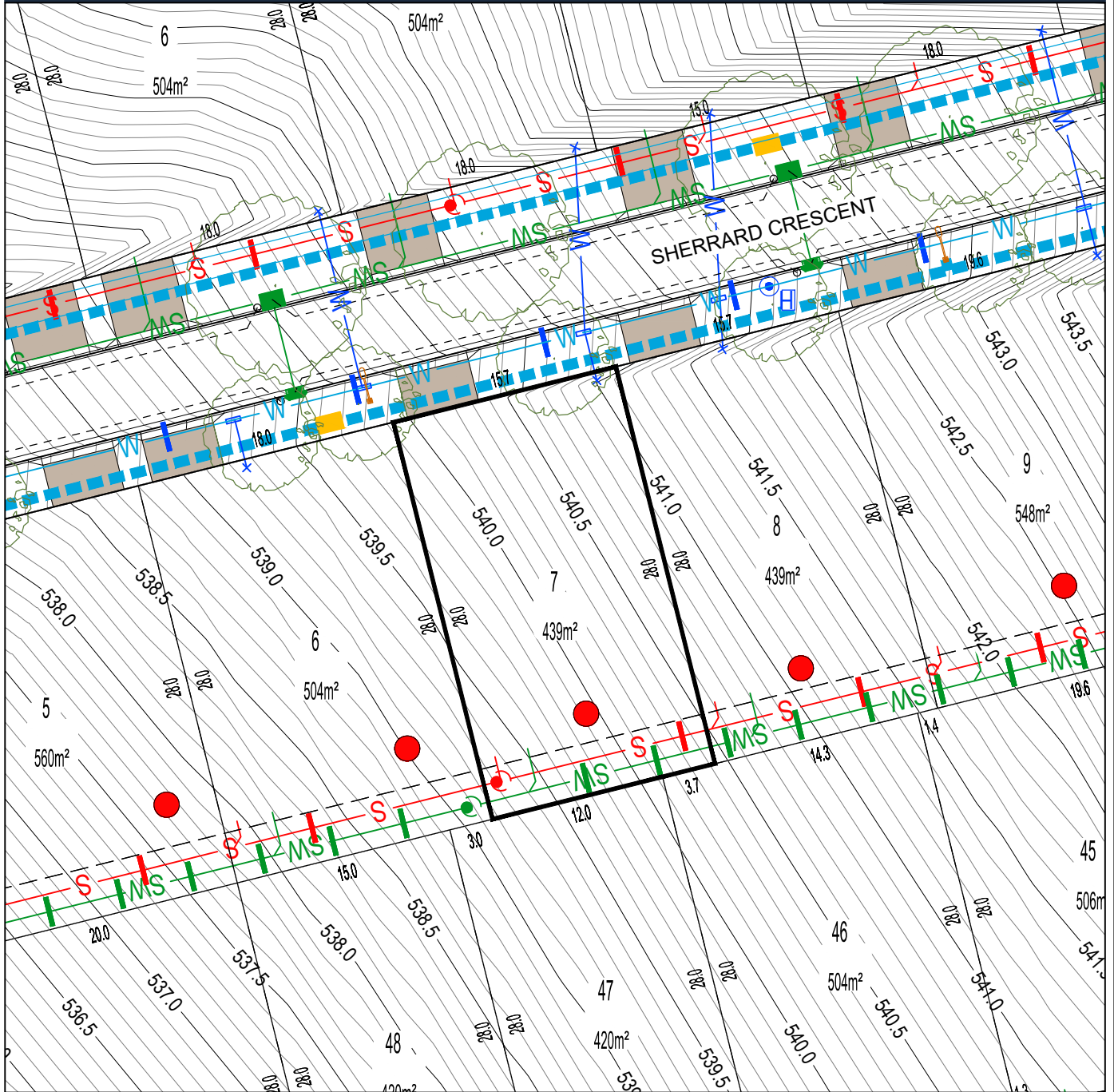
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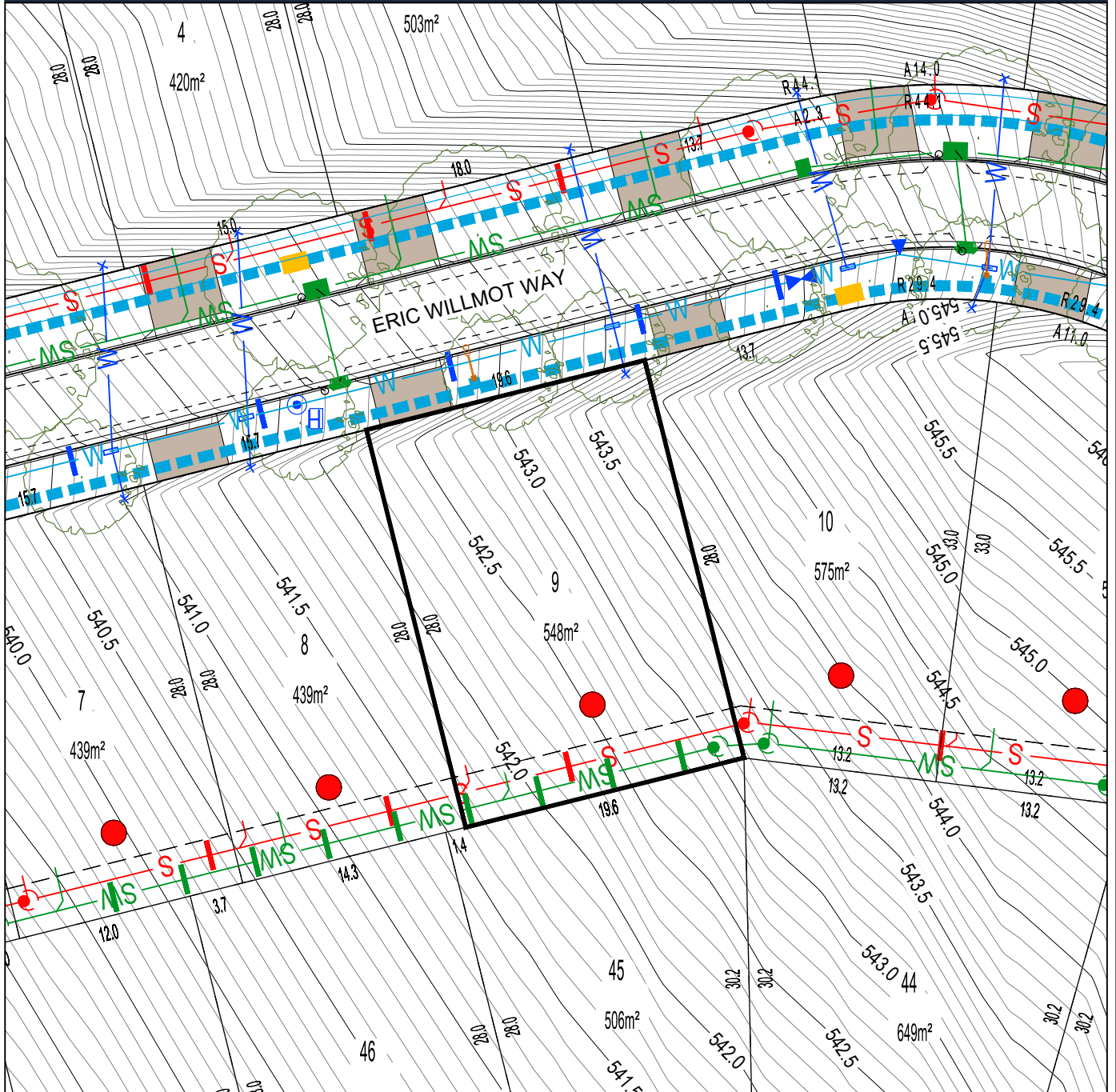
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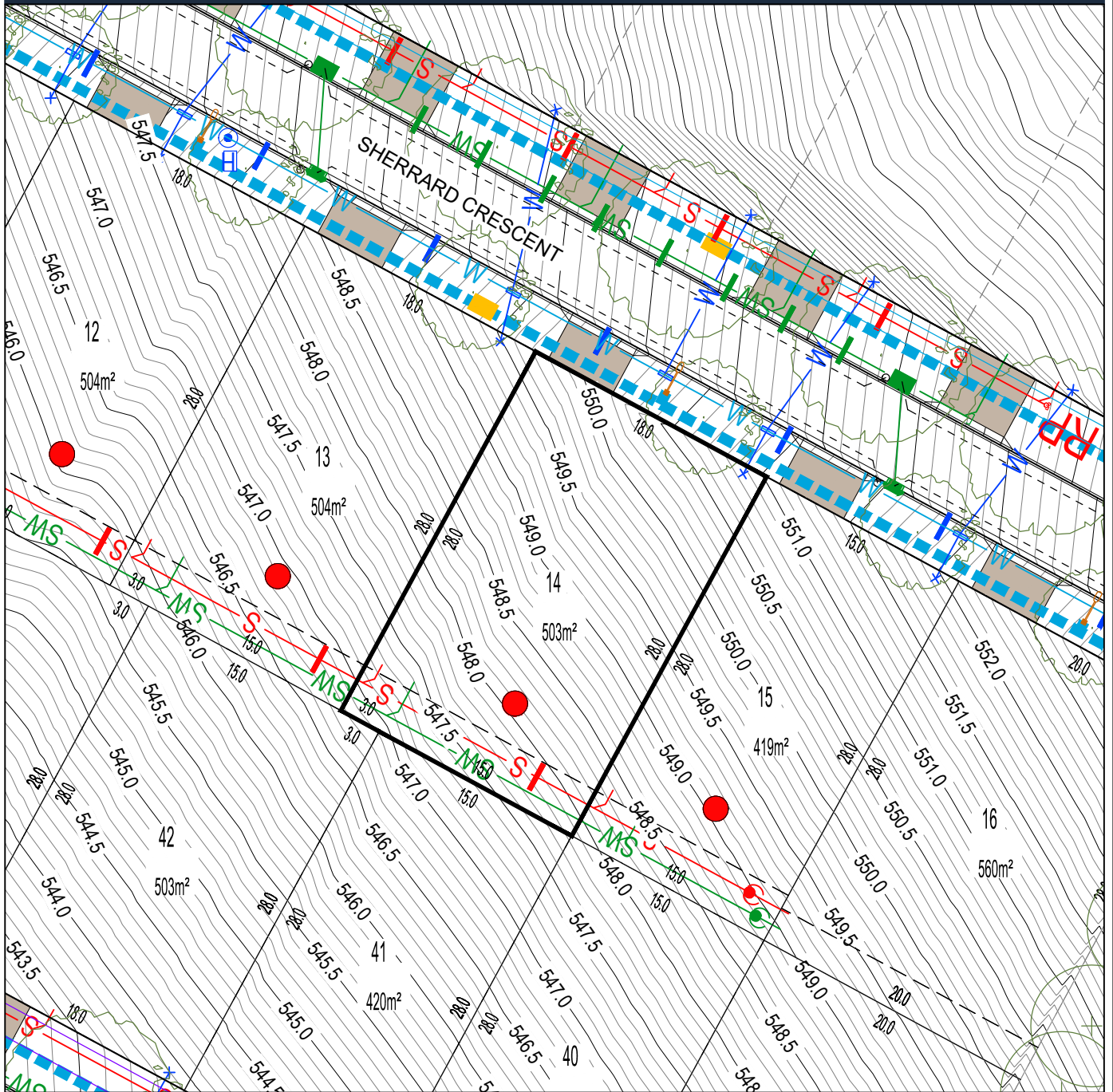
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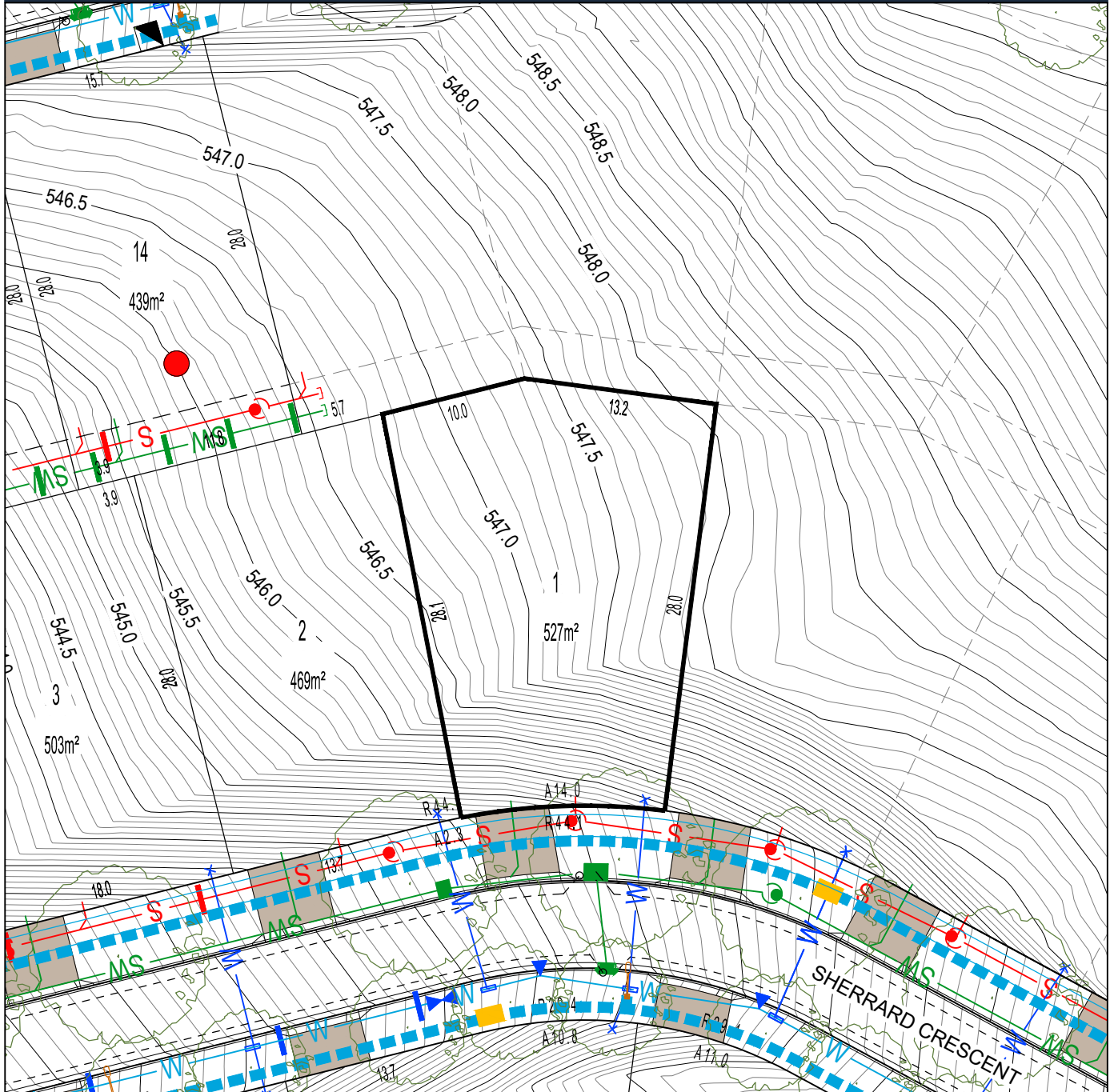
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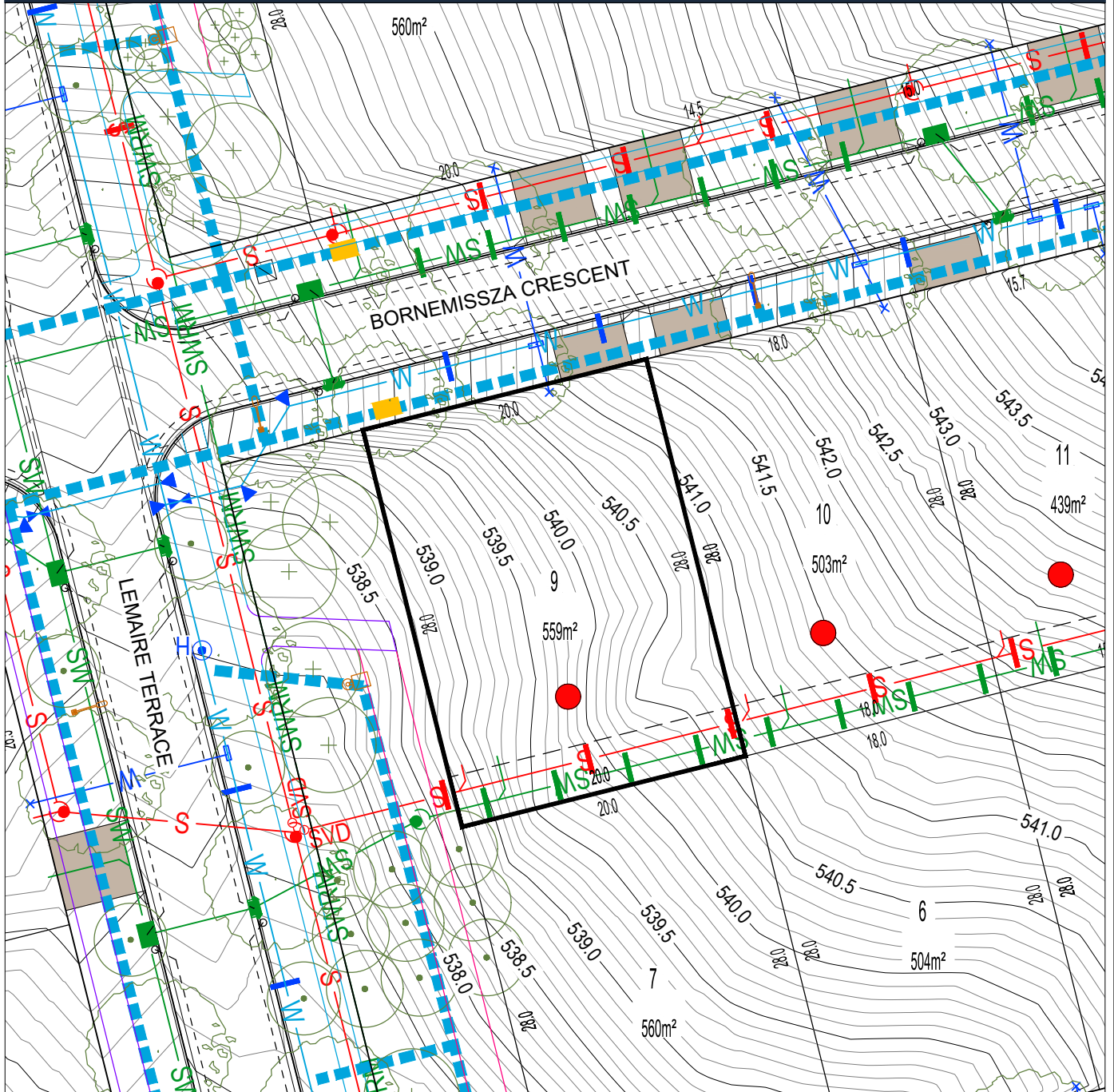
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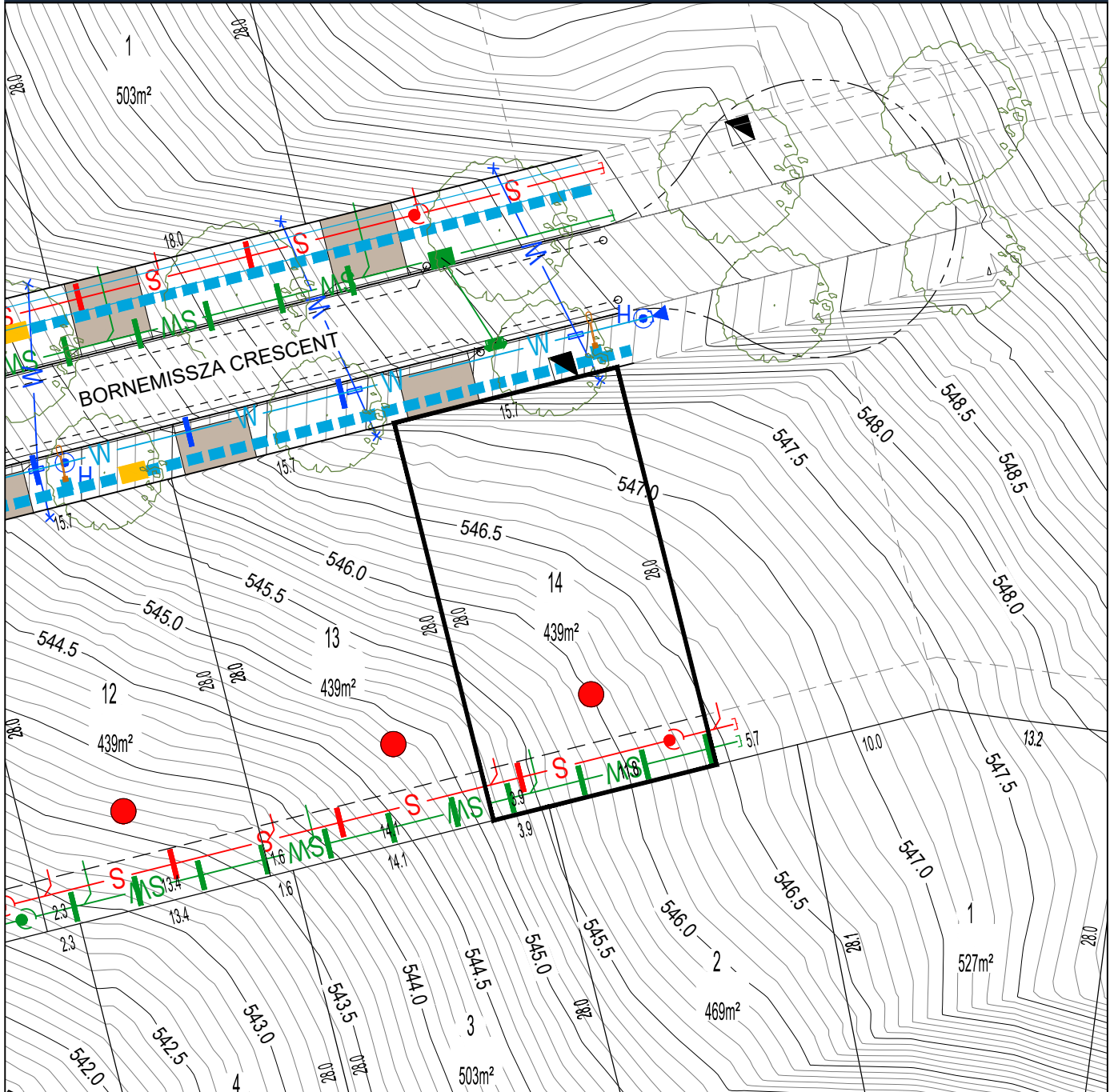
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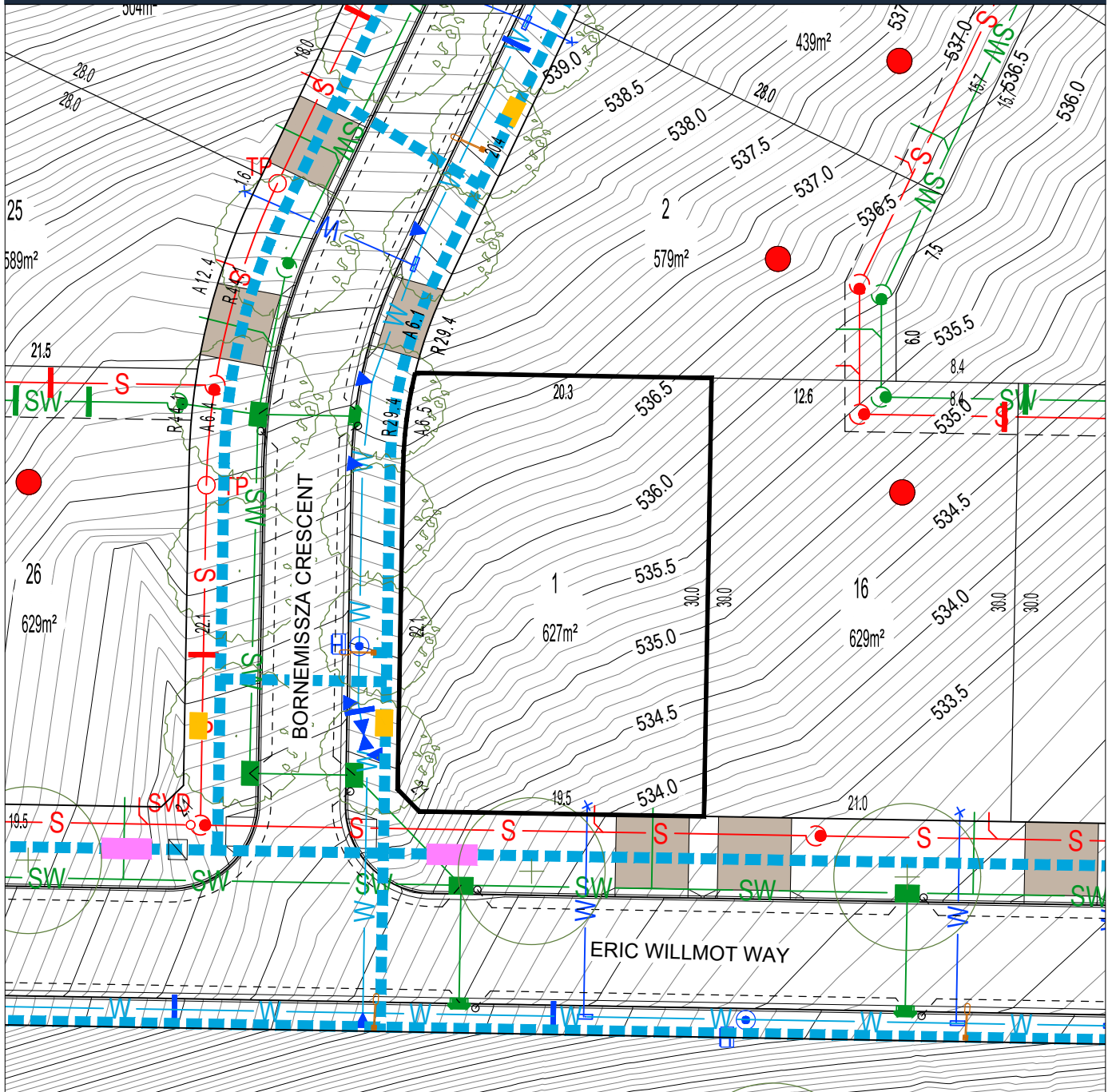
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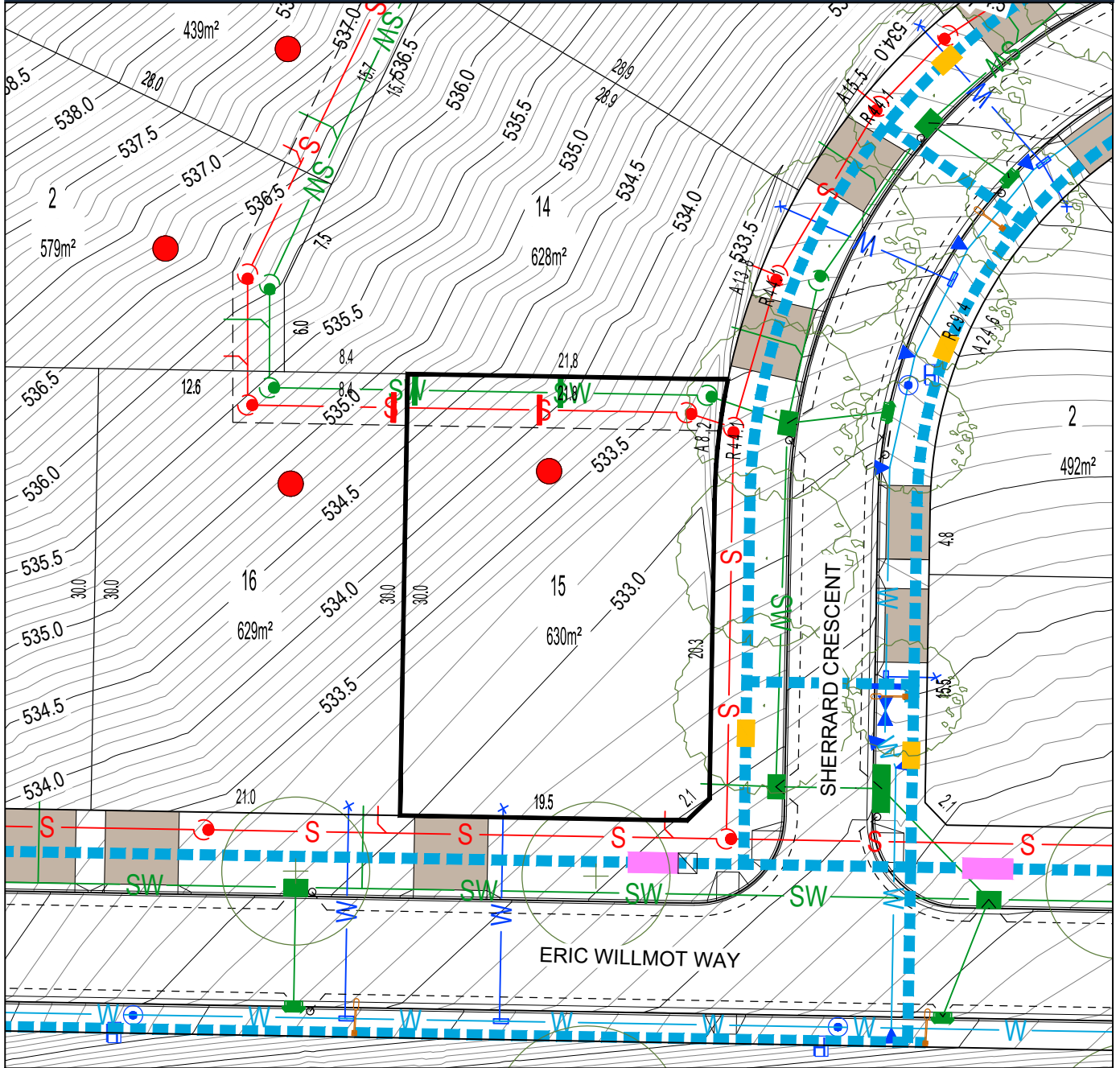
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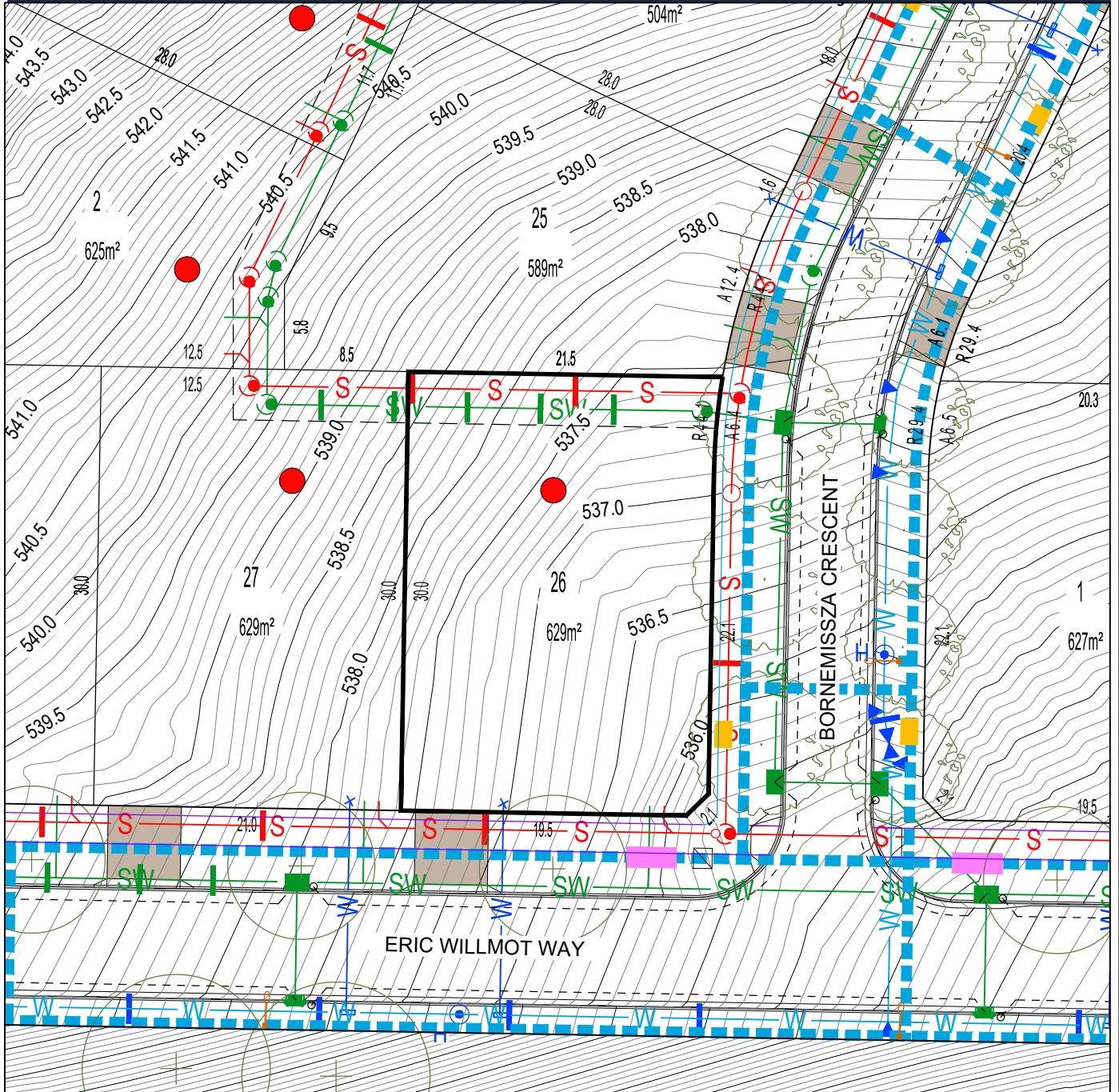
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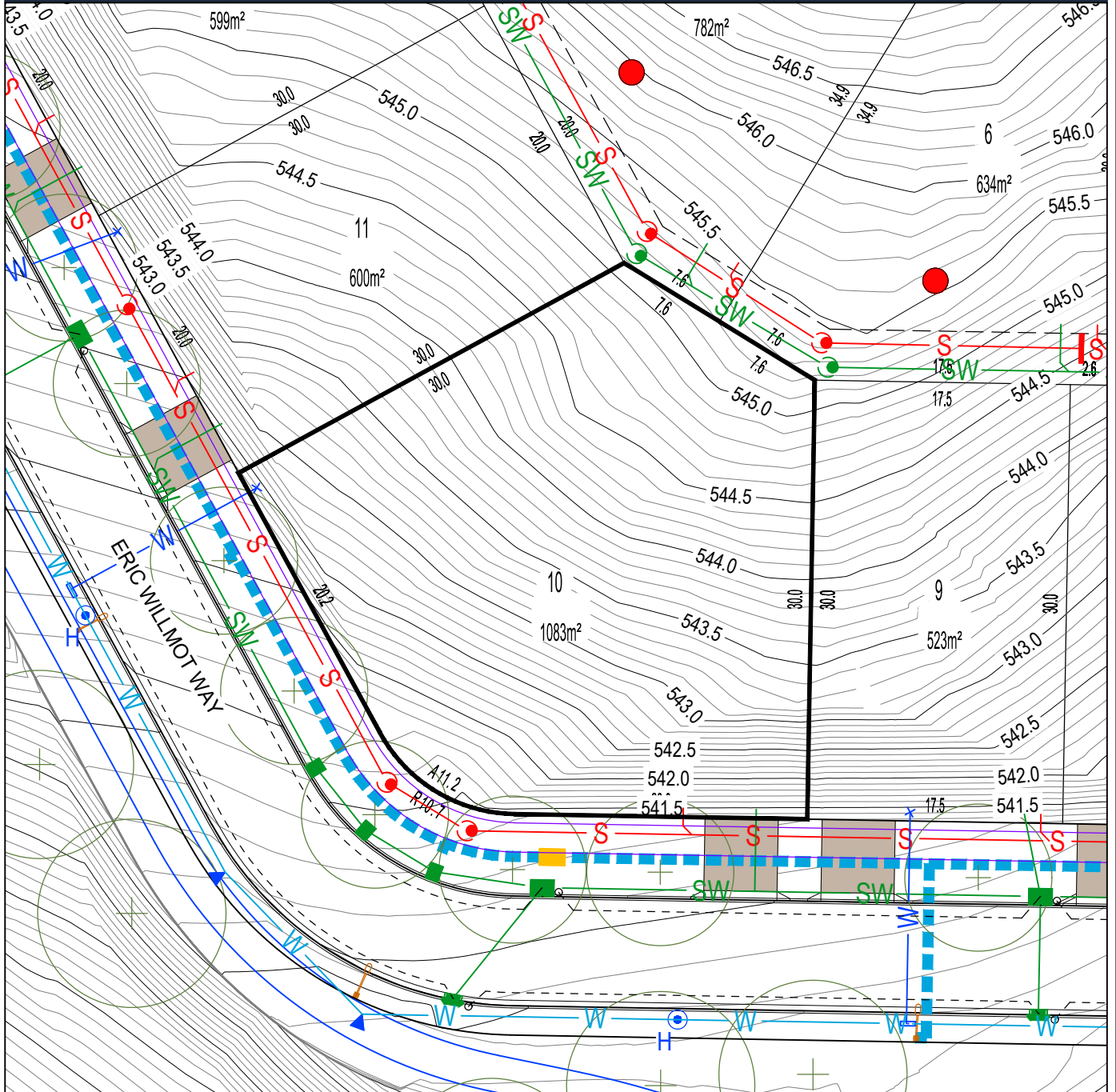
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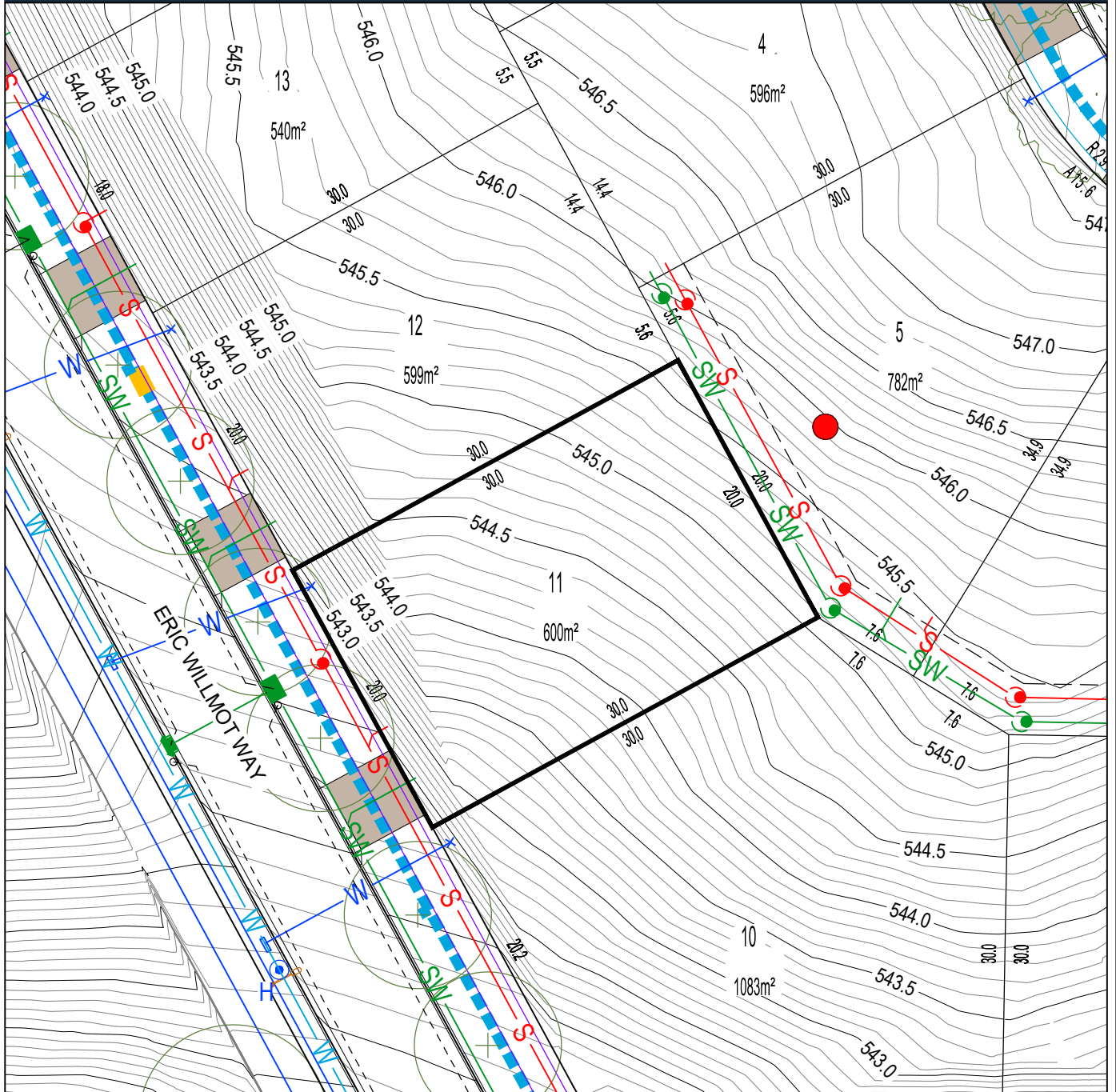
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