

Design Requirements for Multi-Unit Housing RZ3

Block	Section
ax	BA
ab	BA
aa	BA
c	BA
q	BA
r	BA

Macnamara

Contents

Part 1 - Introduction	4
The Ginninderry vision: an inspiring 21st century community	4
Setting the highest standards	4
Innovative ideas and technologies	4
Part 2 - Design Approval Process	5
How the process works	5
Compliance Bond	5
Part 3 - Design Requirements	6
Public domain interface	6
Local character and context	7
Landscape design	7
Visual appearance and articulation to corners	9
Roof form	9
Roofing materials	9
Eaves, awnings and sunhoods	9
Mailbox	9
Bush fire requirements	9
Energy Efficiency Rating	9
Zoning	9
Building height	9
Building front setback	9
Fencing & courtyard walls	9
PPOS requirements	9
Natural ventilation	9
Dwelling size and layout	10
Garage and garage doors	10
Storage	10
Bin locations	11

Contents

Ceiling heights	11
Glazing	11
Home Energy Systems	11
Appliance and fixtures	11
Hot water systems	12
Heating and cooling	12
Rainwater tanks	12
Electric Vehicle (EV) Charging Provision	13
Retaining walls	13
Rear lane access	14
Services and ancillary structures	14
Dog and cat containment	14
Part 4 - Appendices	18
Appendix A – Pre Approved Colours and Material Palette	
Appendix B – Block Disclosure Plans	
Appendix C – Block Fill Plan	
Appendix D – Block Planning Control Plans	
Macnamara Housing Development Requirements Application Form	

Part 1: Introduction

The Ginninderry vision: an inspiring 21st century community

The Ginninderry community will be unique in our region. It extends across the ACT/NSW border to the west of Belconnen and is being developed by a Joint Venture between the ACT Suburban Land Agency (SLA) and Riverview Developments (ACT) Pty Ltd.

From the start, our vision for Ginninderry has been to build a community of international significance, with innovation, diversity and ecological criteria at its core. Now we're bringing this vision to life.

Setting the highest standards

The multi-unit site at Ginninderry will form part of a whole neighbourhood design.

The project team has established high expectations for Ginninderry, perhaps best illustrated by the project's accreditation as Canberra's first 6 Star Green Star Community, through the Green Building Council of Australia. To achieve this certification, we've shown that Ginninderry will be a worldleading community, exhibiting international best practice in urban design and development.

All residents at Ginninderry will benefit from a vast conservation corridor, well connected pedestrian and cycling pathways, tree lined streets and easy access to public transport.

Ginninderry aspires to be recognised as a world leader in sustainable development, delivering a community that is:

- better planned and designed
- more dynamic and vibrant
- a healthy place to live work and play
- productive and prosperous
- flexible, adaptable and resilient.

Innovative ideas and technologies

Like all communities, Ginninderry will evolve and change over time, and so too will building design technologies and materials. It is quite possible that innovative energy, comfort and cost outcomes may be achieved by using new technologies, practices and principles not contemplated in this document.

At the discretion of the Development Manager, mandatory requirements may be varied if better alternatives and solutions are proposed, that do not compromise the overall integrity of Ginninderry's design philosophy.

Part 2:

Design Approval

Process

Multi-unit designs at Ginninderry need to comply with the following:

- These Design Requirements
- Plans relating to this block in Part 4 Appendices
- Relevant Territory Plan District and Zone Policies (as applicable)
- Relevant District and Zone Technical Specifications and ACT Housing Design Guide (as applicable)
- Any damage caused by the construction of the multi-unit site to the surrounding verges, street trees, footpath, services and adjoining land has been rectified to the satisfaction of Transport Canberra and City Services (TCCS) and our Development Manager
- All waste on the public verge and adjoining land has been removed
- The purchaser (builder) may not seek to transfer the compliance bond requirements to the ultimate owner of the dwelling(s)
- If found to be compliant, your full Compliance Bond will be returned

Compliance Bond

An important part of the Contract for Sale of land at Ginninderry is the requirement for the payment of a Compliance Bond at the time of settlement. The Compliance Bond is to ensure the adherence to these Design Requirements.

Minimum Requirements

The conditions for the return of the Compliance Bond are:

- The design(s) has been submitted to and approved by the Development Manager prior to building commencement.
- The multi-unit homes have been built to the approved design in accordance with the Design Requirements
- A letter from your solar installer certifying that the PV system with inverter and Home Energy Management System has been installed to comply with the Sustainability Requirements



Part 3: Design Requirements

The following information outlines the Design Requirements for Multi-Unit Housing - RZ3 - Macnamara

Design Principle	Design Requirements
<p>Public Domain Interface</p> <p>Provide legible and attractive interfaces that achieve passive surveillance to public streets and lane-ways.</p>	<p>Front doors of each dwelling are clearly visible from a public street or lane-way and include a covered entry feature or portico.</p> <p>Windows fronting a public road from habitable rooms, balconies or decks overlook the public domain.</p> <p>Courtyard walls are to be provided to comply with the Belconnen District Specification and are required to be coordinated with all service requirements, including clearance to any water meters and free access to any electrical meter boxes.</p> <p>Where development frontages are adjacent to open spaces, parks, public walkways or located on a corner, the following requirements apply:</p> <ul style="list-style-type: none"> • Habitable rooms have windows to provide passive surveillance (i.e. no 'blank' facades) • Building entries and pathways are visible and legible from public domain.



Surveillance of Public Domain



Clear entries behind courtyard walls

Design Principle	Design Requirements
<p>Local Character and Context</p> <p>The built form, articulation and scale relates to the local character of the area and its context.</p>	<p>The design should sit comfortably within the Macnamara Master Plan. Multi Unit housing is located throughout Macnamara in prominent locations and on main arterials. As such, designs should provide a high quality, well articulated and active street frontage to the public domains.</p> <p>The design should respond to its orientation and provide private and communal open spaces that utilise the site’s assets, provide links and connections from the precinct to adjacent open spaces and thoroughfares.</p>
<p>Landscape Design</p> <p>The landscape design requires healthy plant and tree growth space for medium and large sized trees.</p>	<p>Tree planting on the site must meet or exceed the Territory Plan requirements for deep soil zones and tree sizes.</p> <p>Minimum planting area and dimensions - refer to Residential Zones Technical Specifications.</p> <p>The landscape plan proposes a combination of tree planting, for shade, mid height shrubs, lawn and ground covers.</p> <p>Include a mix of species that are appropriate for scale and shading.</p> <p>Synthetic or artificial grass is not permitted.</p> <p>The verge areas between the front boundary of the land and the kerb must be turfed.</p> <p>Refer Appendix B for suggested Landscape Planting Palette.</p>

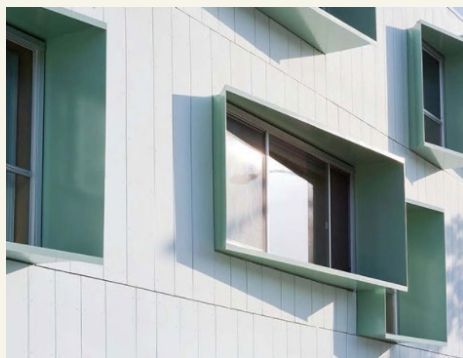


Courtyard spaces should allow natural light and cross-ventilation to living spaces



An example of a vertical greenwall to help soften small courtyard areas

Design Principle	Design Requirements
<p>Visual Appearance and Façade Articulation</p> <p>To promote well designed buildings of high Architectural quality that contribute to the local character.</p> <p>The facades of the multi-unit homes must be designed as an integrated pack to provide an consistent streetscape.</p>	<p>The development is to incorporate articulation to frontages.</p> <p>The following elements help provide functional articulation. The design must demonstrate how it responds to the following elements:</p> <ul style="list-style-type: none"> • Covered entry feature or portico is mandatory • A balcony, deck, pergola, terrace, or veranda • Extruded box window treatments • Bay windows • Awnings, sunhood, and louvres • Eaves • Access ramps as required <p>The overall streetscape must have a light base colour as the prominent wall finish with light weight cladding and include a mix of materials to provide articulation.</p> <p>Double storey designs must incorporate balconies at bookends/ corners with a combination of solid and perforated metal or glass balustrades.</p> <p>Facade glazing to street frontages must be more vertical in proportion with mullion spacing less than 1.0m. Openings of 2.4m wide or more must be a minimum of 3 panels.</p> <p>Metal profile cladding systems or FC style boards with profile widths of a maximum 200mm are encouraged.</p>



Sunhood and Awning



Light filled screened balconies.



Clearly articulated facades add value and character to the streetscape



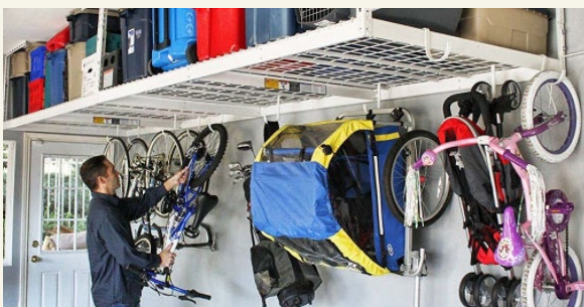
Passive Surveillance with articulated and screened balconies



Clearly articulated facades add value and character to the streetscape

Design Principle	Design Requirements
Visual Appearance and Articulation to Corners	<p>Refer to the block planning controls.</p> <p>Articulation elements such as balconies, blade walls, pergolas, sunhoods, awnings, façade treatments, material use and expressed structure are required to add visual interest and avoid large blank wall planes to prominent corners.</p> <p>Buildings may need to be stepped back further on corners to permit balconies, glazing and larger eaves without encroachment into secondary front setbacks. All materials must wrap around the corner dwellings by at least 4 metres.</p>
Roof Form	<p>The roof treatments are integrated into the building design and positively respond to open space and laneway and provide for individual expression for each dwelling.</p> <p>The roof form must consider how to integrate the solar panels. Lights and ventilation systems are integrated into the roof design.</p> <ul style="list-style-type: none"> • Gable roof – minimum 25 degrees if visible • Skillion – 10 to 15 degrees minimum if visible
Roofing Materials	<p>Metal profile roof sheeting only. Refer to Approved Colours and Finishes palette Part 4.</p>
Eaves, Awnings and Sunhoods	<p>Minimum 450mm eaves required. Any windows that are not protected by an eave , i.e Parapet walls, require awnings or sunhoods, except south facing windows.</p>
Mailbox	<p>Mailboxes should be incorporated into a courtyard wall (where permitted).</p> <p>Standalone mailboxes must compliment the home and must be constructed of masonry such as smooth face brick, stone faced masonry, rendered or bagged masonry or natural stone.</p> <p>Any pre-fabricated stand alone mailboxes must be of a high quality and may only be approved on merit.</p>
Bush Fire Requirements	<p>There are no bush fire requirements within Strathnairn</p>
Energy Efficiency Rating	<p>A minimum NatHERS rating of 7.0 is required for each dwelling.</p>
Zoning	<p>Zone RZ3.</p>
Building Height	<p>Up to 2 storeys permitted.</p>
Building Front Setback	<p>Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).</p>
Fencing & Courtyard Walls	<p>Refer to Belconnen District Specification & Fencing Controls Plan.</p>
PPOS Requirements	<p>Refer to Territory Plan District and Zone Policies, and; District and Zone Technical Specifications and ACT Housing Design Guide (as applicable).</p>

Design Principle	Design Requirements
Natural Ventilation	All habitable rooms must be naturally ventilated.
Dwelling Size and Layout	<p>The dwelling has sufficient area to ensure the layout of rooms are functional, well organised and provide a high standard of amenity.</p> <p>Minimum Net Living Areas (NLA's)</p> <ul style="list-style-type: none"> • 1 bed = 50m² • 2 bed = 70m² • 3+ bed = 95m² <p>Kitchens are not part of circulation spaces such as hallways.</p>
Garage and Garage Doors	<p>Consider the use of masonry base elements to corners of garages and lightweight elements where appropriate.</p> <p>Provide panel lift or tilt up garage doors. Roller doors are not permitted.</p>
Storage	<p>Multi-unit designs must provide adequate internal storage for each unit.</p> <p>Minimum internal dwelling storage:</p> <ul style="list-style-type: none"> • Studio dwellings = 2m² • 1 bed dwellings = 3m² • 2 bed dwellings = 4m² • 3+ bed dwellings = 5m² <p>Refer to Residential Zones Specifications</p>
End or Trip Facilities	<p>Onsite bicycle parking and access pathway is to be provided in accordance with Residential Zones Specification.</p> <p>The following minimum bicycle parking spaces are to be provided:</p> <ul style="list-style-type: none"> - 1 space per 2 bed dwelling - 2 spaces per 3+ bed dwelling - 1 space per 10 dwellings for visitors



Garage storage solutions



Bicycle storage solutions



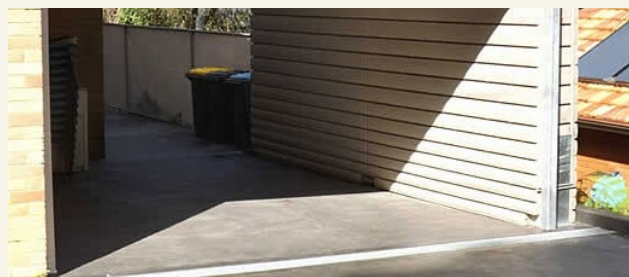
Laundry linen storage

Design Principle	Design Requirements
Bin Locations	<p>Storage for three bins must be provided including general waste, recycling and green waste. Bin locations should be integrated with the dwelling designs and screened from public view.</p> <p>Kitchen design must allow for easy waste separation.</p>
Ceiling Heights	<p>Ceiling heights are to achieve sufficient natural ventilation and provide daylight access and spatial quality.</p> <p>Minimum ceiling heights:</p> <ul style="list-style-type: none"> • 2.7m to ground floor habitable rooms • 2.7m to upper floor living areas • 2.5m to upper level bedrooms
Glazing	<p>uPVC or thermally broken aluminum double glazing is required to all external windows and doors.</p>
Home Energy Systems	<p>Dwellings must be all-electric with no mains or bottled gas connections.</p> <p>A PV System with a Home Energy Management System and compatible inverter must be installed for all dwellings under the following provisions:</p> <ol style="list-style-type: none"> a. Minimum PV size: <ul style="list-style-type: none"> • 1-2 bedroom 3kW • 3 bedroom+ 4kW b. Home Energy Systems must be a Reposit Power (battery is required) or Evergen. c. The solar inverter must be compatible with the chosen Home Energy Systems above. d. Where PV panels are located on a roof section fronting a street, they must be installed flush with the roof. e. All hardware components must be installed by a certified Solar Accreditation Australia installer.
Appliances and Fixtures	<p>Induction cooktops must be provided to all dwellings.</p> <p>All appliances, water fixtures and fittings must have a minimum 4 star rating under the water efficiency labeling and standards (WELS) scheme and (where required) a 4 star energy rating under the energy rating label (Energy Efficiency Rating) scheme.</p> <p>This includes showerheads, tap ware, toilets, fridges, freezers, washing machines, dryers and any other appliance provided with the dwelling.</p>

Design Principle	Design Requirements
<p>Hot Water Systems</p>	<p>All dwellings must have a solar or heat pump hot water system installed. Roof top solar water collectors are not permitted on the roof fronting the street. Consideration must be given to the location of any tank including screening or placement within a cupboard or garage space.</p> <p>Hot water systems must be climate appropriate and have temperature application range down to -5 degrees ambient air temperature.</p>
<p>Heating and Cooling</p>	<p>Passive heating and cooling must be considered for all dwellings including ceiling fans and thermal mass)</p> <p>If Mechanical heating and/ or cooling systems are installed they must be:</p> <ol style="list-style-type: none"> a. reverse cycle air conditioning with: <ul style="list-style-type: none"> • Energy Efficiency Rating of 3.1 or higher for cooling cycle • Coefficient of Performance of 3.5 or higher for heating cycle • Outdoor unit with sound pressure level of 57dBA or lower for heating and cooling cycle b. air conditioning with a cooling cycle only that achieves an Energy Efficiency Rating of 3.1 or higher c. ducted evaporative cooling with self-closing damper d. ground source heat pump. <p>Considerations must be given to the location of any outdoor fan coil unit including screening and compliance with ACT EPA noise requirements.</p>
<p>Rainwater Tanks</p>	<p>Minimum requirement as per Residential Zones Specification.</p> <p>Please consider addition Water Sensitive Urban Design and Rainwater tank provisions for soft planting and environmental purposes.</p>



Narrow style rainwater tanks can be used where space requirements are restrictive

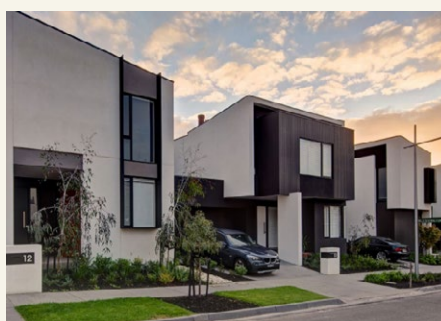


Rainwater tanks incorporated into a carport design shows clever and effective use of small spaces

Design Principle	Design Requirements
<p>Electric Vehicle (EV) Charging</p>	<p>One EV Ready charging point per dwelling with:</p> <ul style="list-style-type: none"> • 10 Amp General Power Outlet (GPO) single phase socket with electrical cabling/wiring capacity rated to 32 Amp single phase. • Wiring installed from the EV charger position to individual switchboard • Space for double-width circuit breaker in switchboard • Data cabling (home ethernet data point) to be provided next to the GPO with the ability to be patched/ connected with home NBN router. <p>If any future higher specification requirements are provided by the National Construction Code or ACT Government Territory Plan, the requirements from the National Construction Code or ACT Government Territory Plan take precedence.</p>
<p>Retaining Walls</p> <p>Extensive earthworks should be limited where possible to minimise the extent of retaining wall costs and the visual impacts to the streetscape.</p>	<p>Minimum Requirements:</p> <ul style="list-style-type: none"> • The height of site cuts along the side boundaries with attached neighbouring wall cannot exceed 500mm in height • Retaining wall forward of the front building line must be constructed from the following materials at the discretion of the Ginninderry Development Manager <ul style="list-style-type: none"> - Approved face brick - Approved rendered masonry - Approved brickwork such as split face, honed or shot blast finishes - Approved stone faced masonry - Approved reinforced concrete finishes • Timber, concrete sleepers or prefabricated modular systems are not permitted forward of the building line. • Retaining walls alongside boundaries forward of the building line must be tapered or stepped in line with the finished ground level at the front boundary. • Where there are services such as water, electrical, communications, sewer and storm water, detailed coordination of all courtyard wall locations and associated services must be considered in the initial design process.



Arch split face block



Streetscape



Well articulated dwelling designs provide a functional and more attractive streetscape

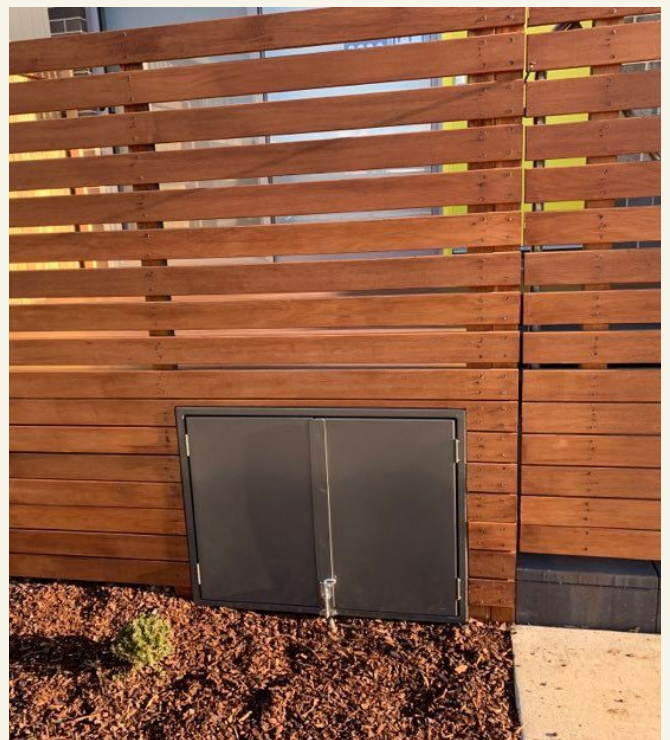
Design Principle	Design Requirements
<p>Vehicle Access</p>	<p>Minimum Requirements:</p> <ul style="list-style-type: none"> ● Driveways must be constructed from either <ul style="list-style-type: none"> - plain concrete or - maximum 5% Oxide finish
<p>Services and ancillary structures</p>	<p>Services such as water, electricity meter boxes, NBN and home energy system cabinets can have an adverse impact on the overall streetscape if not considered as part of the overall design.</p> <p>The location of the above services will be required to be shown on the site plan as part of the design approval process.</p> <p>Minimum Requirements:</p> <ul style="list-style-type: none"> ● Water, electricity meter boxes, NBN and home energy system cabinets must be integrated into the front façade and located away from the front door ● Solar panels must sit flush with the roof line if located to the street frontages of the dwellings ● Storage tank for solar HWS is not permitted to be mounted on the roof fronting the street ● Aerials, satellite dishes, antennae, heat pumps, A/C units and evaporative units are to be located to the rear of the dwellings and must not be visible from the street. ● Clothes drying lines and garbage bins are to be located to the rear of the terraces. If they are located to the side of the house within the Primary Building zone, they must be screened from public view. ● Sheds, outdoor structures are to be located to the rear of the terraces and away from public view.
<p>Dog and Cat containment</p>	<p>Minimum Requirements:</p> <p>Suburbs within Ginninderry are Cat Containment and Dog on Leash areas. Designs should give consideration to responsible pet ownership principles including the use of enclosures or cat runs. More information can be obtained at: https://www.cityservices.act.gov.au/pets-and-wildlife/domestic-animals/cats/cat-containment</p> <ul style="list-style-type: none"> ● Dogs must remain on leash in public areas except within designated un-leashed areas such as dog parks. ● Dogs are not permitted in the conservation corridor.



Cat containment



Integrated water meter details within courtyard walls





Part 4: Appendix A

External Colours and Finishes Schedule

Please tick the boxes below

Roof Tiles – Monier

Atura	<input type="checkbox"/> Mist Grey	<input type="checkbox"/> Saltspray	<input type="checkbox"/> Seashell	<input type="checkbox"/> Wildrice
Horizon	<input type="checkbox"/> Mist Grey	<input type="checkbox"/> Saltspray	<input type="checkbox"/> Seashell	<input type="checkbox"/> Wildrice

Roof Tiles – Lutum

Vogue	<input type="checkbox"/> Quartz	<input type="checkbox"/> Cotton
Contour	<input type="checkbox"/> Quartz	<input type="checkbox"/> Cotton
Slimline	<input type="checkbox"/> Quartz	<input type="checkbox"/> Cotton

Roof Tiles – Bristle

Prestige	<input type="checkbox"/> Silver Gum	<input type="checkbox"/> Aspen	
Classic	<input type="checkbox"/> Alabaster	<input type="checkbox"/> Linen	<input type="checkbox"/> Silver Gum
Planum	<input type="checkbox"/> Turron	<input type="checkbox"/> Ghost White	<input type="checkbox"/> Aspen, Vanilla

Metal Roof – Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum		

Fence Colour - Colorbond

Side and Rear Boundary Fencing

<input type="checkbox"/> Jasper

Fence Infill Panel / Street Facing Fencing - Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist			

Garage Doors

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray	
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver	
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Blushed Teak	<input type="checkbox"/> Classic Cedar	<input type="checkbox"/> Iron Bark	<input type="checkbox"/> Kwila
<input type="checkbox"/> Merbau	<input type="checkbox"/> Silky Oak	<input type="checkbox"/> Weathered Timber	<input type="checkbox"/> Western Red Cedar		

Façade Colours Walls / Render / Cladding

<input type="checkbox"/> Basalt	<input type="checkbox"/> Cove	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Natural Pearl	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Beige Royal	<input type="checkbox"/> Braid	<input type="checkbox"/> Cru	<input type="checkbox"/> Lexicon
<input type="checkbox"/> Light Rice	<input type="checkbox"/> Linseed	<input type="checkbox"/> Natural White	<input type="checkbox"/> Oyster Linen	<input type="checkbox"/> Terrace White	<input type="checkbox"/> Toffee Fingers
<input type="checkbox"/> Tuft	<input type="checkbox"/> Warm Neutral				

Bricks – Austral

La Paloma	<input type="checkbox"/> Miro				
Urban One	<input type="checkbox"/> Silver	<input type="checkbox"/> Chiffon	<input type="checkbox"/> Pepper		
Wilderness Design	<input type="checkbox"/> Silver Birch	<input type="checkbox"/> Blue Gum	<input type="checkbox"/> Blackbutt		
Everyday Life	<input type="checkbox"/> Engage	<input type="checkbox"/> Freedom	<input type="checkbox"/> Leisure		
Whitsunday Range	<input type="checkbox"/> Brampton	<input type="checkbox"/> Orpheus			
San Selmo Smoked	<input type="checkbox"/> Grey Cashmere (F.O.)	<input type="checkbox"/> Cloudy Silver (F.O.)	<input type="checkbox"/> Opaque Slate (F.O.)	<input type="checkbox"/> Wild Storm (F.O.)	
Metallix	<input type="checkbox"/> Quartz	<input type="checkbox"/> Platinum	<input type="checkbox"/> Titanium	<input type="checkbox"/> Cuprum	
	<input type="checkbox"/> Bronze	<input type="checkbox"/> Gun Metal Blue			
Park Lane	<input type="checkbox"/> Biltmore	<input type="checkbox"/> Dorchester	<input type="checkbox"/> Mayfair		
	<input type="checkbox"/> Westminster	<input type="checkbox"/> Chesterfield (F.O.)			

F.O. Feature area only

Bricks – PGH

Alfresco	 <input type="checkbox"/> Vino	 <input type="checkbox"/> Chocolatto	 <input type="checkbox"/> Truffle	 <input type="checkbox"/> Espresso
	 <input type="checkbox"/> Urban Blue			
Dry Pressed Architectural	 <input type="checkbox"/> Bennelong Blue	 <input type="checkbox"/> Bradfield Bronze		
	 <input type="checkbox"/> Macquarie Blend	 <input type="checkbox"/> Tinto Cream	 <input type="checkbox"/> Silver Shadow	
	 <input type="checkbox"/> McKinlay Brown	 <input type="checkbox"/> Monash Grey		
Dark and Stormy	 <input type="checkbox"/> Monsoon	 <input type="checkbox"/> Thunder	 <input type="checkbox"/> Whirlwind	 <input type="checkbox"/> Zephyr
Foundations	 <input type="checkbox"/> Gravel	 <input type="checkbox"/> Stone		
Highlands	 <input type="checkbox"/> Blackheath	 <input type="checkbox"/> Leura (F.O.)		
Manhattan	 <input type="checkbox"/> Chelsea (F.O.)	 <input type="checkbox"/> East Hampton (F.O.)	 <input type="checkbox"/> Tribeca (F.O.)	
Metallic	 <input type="checkbox"/> Nickel Flash	 <input type="checkbox"/> Pewter	 <input type="checkbox"/> Blue Steel Flash	
Morada	 <input type="checkbox"/> Blanco	 <input type="checkbox"/> Ceniza	 <input type="checkbox"/> Nero (F.O.)	 <input type="checkbox"/> Gris
Opaline	 <input type="checkbox"/> Tourmaline	 <input type="checkbox"/> Garnet	 <input type="checkbox"/> Tiger Eye	
Pure Linens	 <input type="checkbox"/> Cinders & Soot	 <input type="checkbox"/> Flannel Grey	 <input type="checkbox"/> Pebble Creek	 <input type="checkbox"/> Whispering White
Smooth	 <input type="checkbox"/> Mineral	 <input type="checkbox"/> Volcanic	 <input type="checkbox"/> Cream	 <input type="checkbox"/> Pearl Grey
	 <input type="checkbox"/> Brown	 <input type="checkbox"/> Terracota	 <input type="checkbox"/> Choc Tan	 <input type="checkbox"/> Copper Glow
	 <input type="checkbox"/> Black & Tan			
Urban Essence	 <input type="checkbox"/> Melbourne Blue (F.O.)	 <input type="checkbox"/> Storm (F.O.)		
Velour	 <input type="checkbox"/> Terracota	 <input type="checkbox"/> Cream	 <input type="checkbox"/> Pearl Grey	 <input type="checkbox"/> Red
	 <input type="checkbox"/> Brown	 <input type="checkbox"/> Choc Tan	 <input type="checkbox"/> Mineral	 <input type="checkbox"/> Volcanic

Additional Colours & Finishes - Subject to Approval

Please include brand, specification, profile and colour of proposed materials, sample photos/swatches should also be provided.

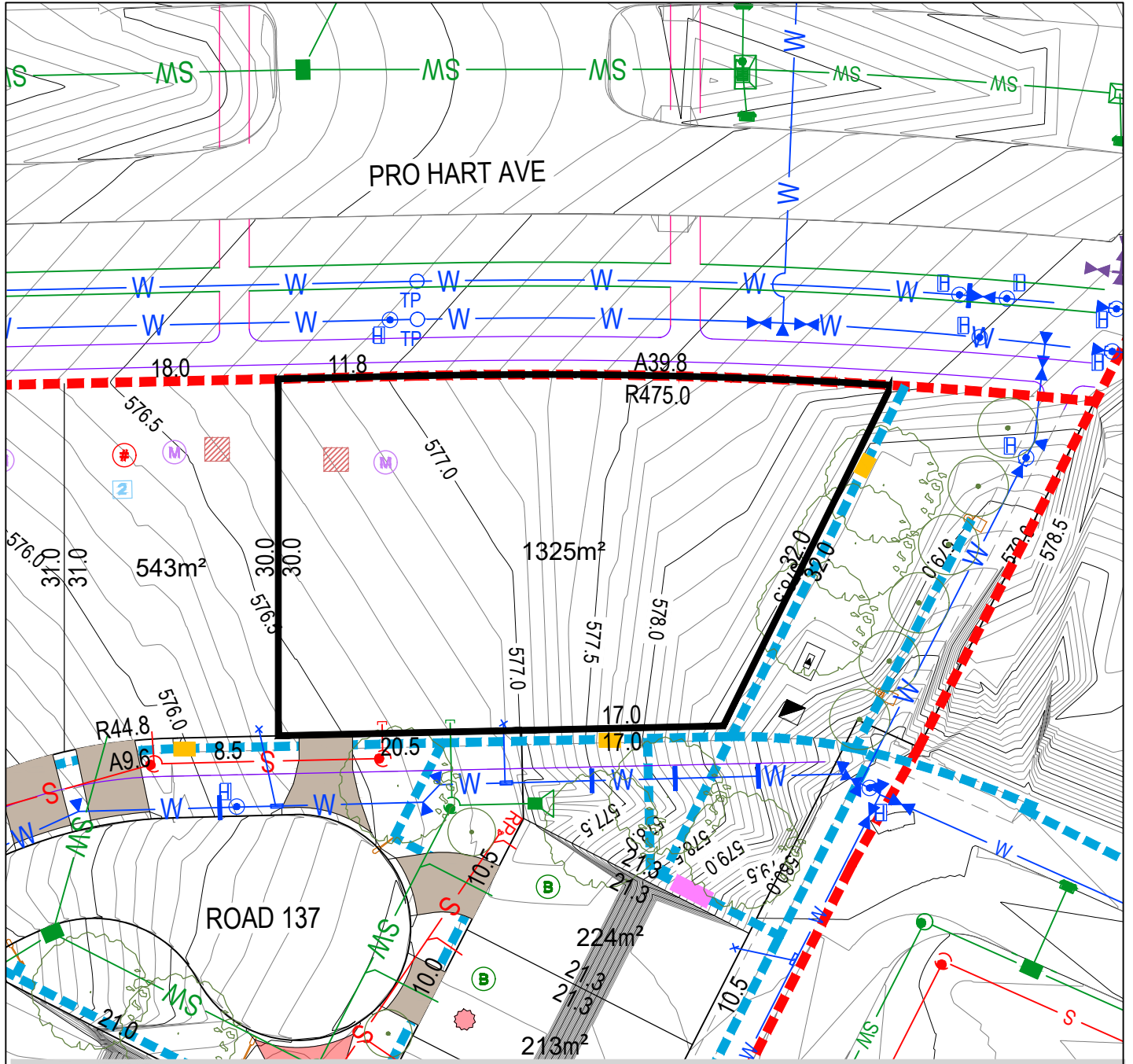
Cladding	
Retaining Walls	
Courtyard Walls	
Mailbox	
Feature Material	

F.O. Feature area only

Appendix B



Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:500

ISSUE DATE: 04/06/2024

LEGEND

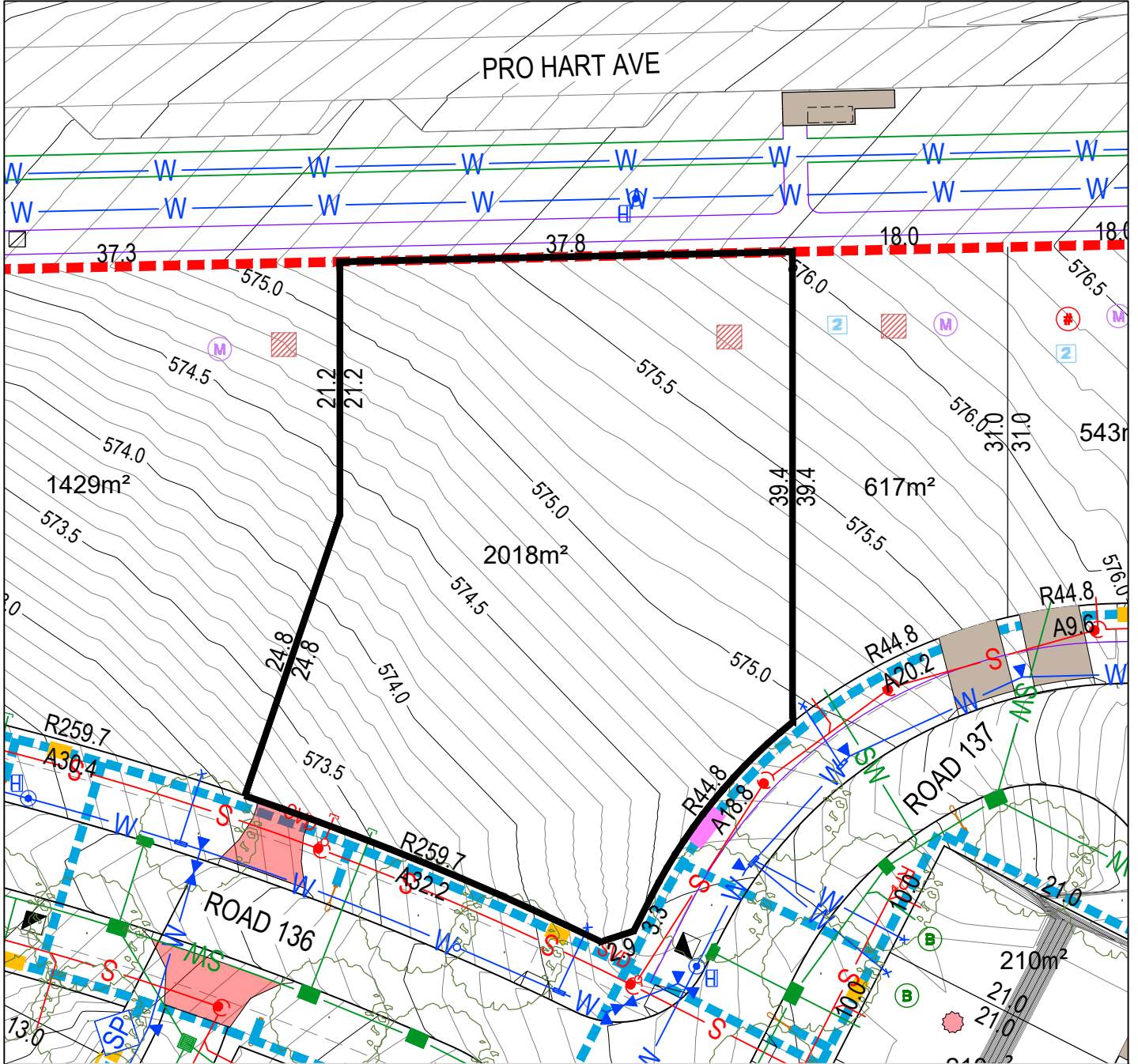
- | | | | | | | | |
|--|-----------------------|--|--|--|--|--|---|
| | STAGE BOUNDARY | | SEWER MAIN / MANHOLE / TIE | | SUBSTATION | | MANDATORY TWO(2) STOREYS |
| | LOT BOUNDARY | | STORMWATER MAIN / SUMP / MANHOLE / TIE | | NBNCa. PIT | | POTENTIALLY NOISE AFFECTED BLOCK |
| | EASEMENT | | WATER MAIN / STOP VALVE / HYDRANT / TIE | | STREETLIGHT \ OPEN SPACE PEDESTRIAN LIGHTING | | ONLY ONE ON BLOCK PARKING SPACE REQUIRED |
| | CONTOUR 0.5m INTERVAL | | WATER MAIN (IRRIGATION) | | ABOVE GROUND LINK PILLAR / MINI PILLAR | | BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS |
| | CONTOUR 0.1m INTERVAL | | REINFORCED CONCRETE DRIVEWAY TO BE BUILT BY PURCHASER/ CONSTRUCTED | | WASTE COLLECTION POINT | | BLOCK SUBJECT TO MID-SIZED PROVISIONS |
| | RETAINING WALL | | STREET TREES | | PPOS MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8m | | MANDATORY SURVEILLANCE BLOCK |
| | SERVICES TRENCH | | SEWER MAINTENANCE ACCESS ROUTE REQUIRED | | MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL | | BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHC |
| | | | | | | | MANDATORY LOT CONTROL WALL INDENT FOR WATER METER |

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

BLOCK SIZE (m²)	MANDATORY MINIMUM WATER TANK SIZE (ML)
251-350	2
351-599	4
600-800	8
>801	10

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:500

ISSUE DATE: 04/06/2024

LEGEND

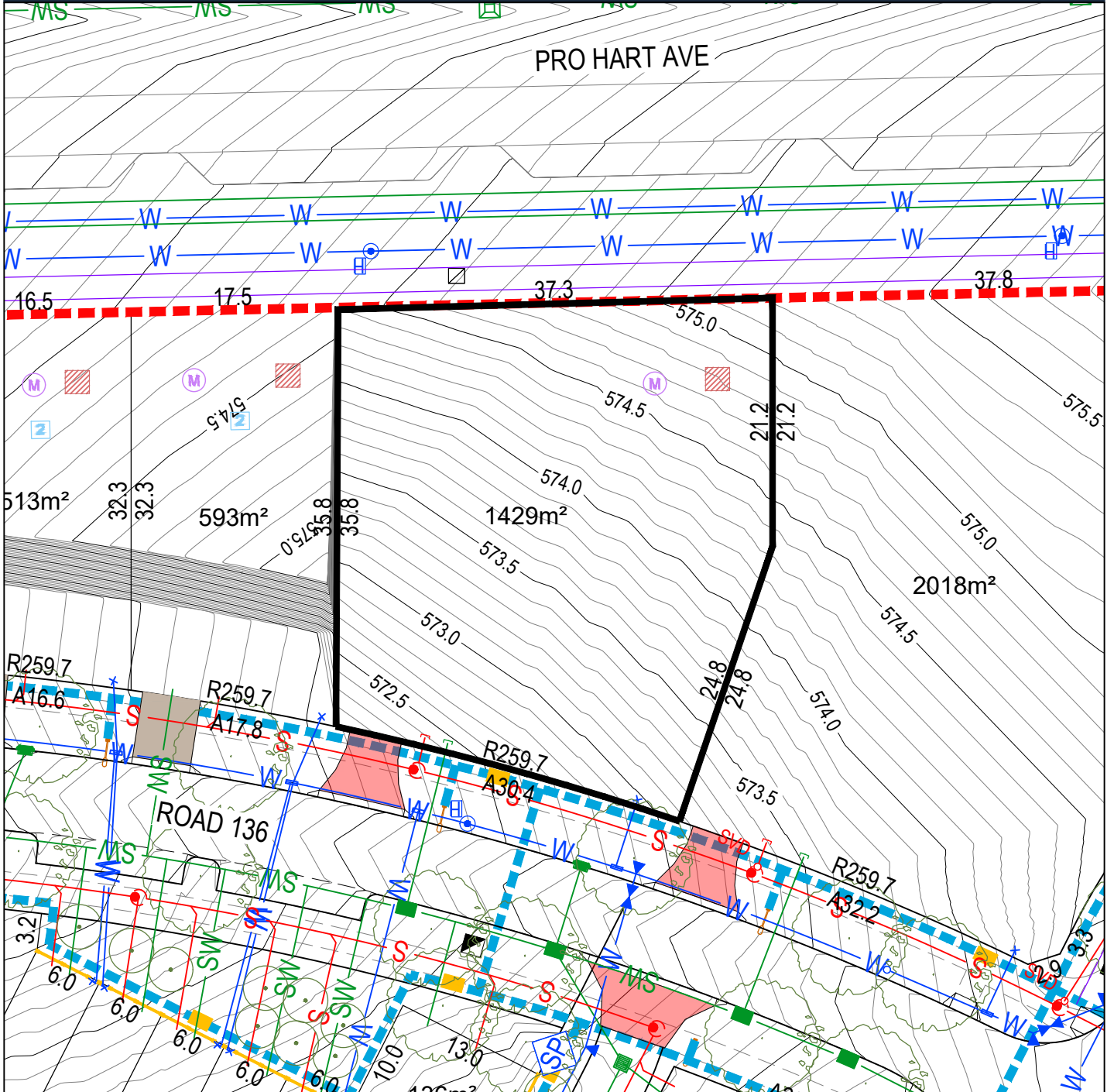
	STAGE BOUNDARY		SEWER MAIN / MANHOLE / TIE		SUBSTATION		MANDATORY TWO(2) STOREYS
	LOT BOUNDARY		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCa. PIT		POTENTIALLY NOISE AFFECTED BLOCK
	EASEMENT		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT \ OPEN SPACE PEDESTRIAN LIGHTING		ONLY ONE ON BLOCK PARKING SPACE REQUIRED
	CONTOUR 0.5m INTERVAL		WATER MAIN (IRRIGATION)		ABOVE GROUND LINK PILLAR / MINI PILLAR		BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS
	CONTOUR 0.1m INTERVAL		REINFORCED CONCRETE DRIVEWAY TO BE BUILT BY PURCHASER/ CONSTRUCTED		WASTE COLLECTION POINT		BLOCK SUBJECT TO MID-SIZED PROVISIONS
	RETAINING WALL		STREET TREES		PPOS MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8m		MANDATORY SURVEILLANCE BLOCK
	SERVICES TRENCH		SEWER MAINTENANCE ACCESS ROUTE REQUIRED		MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL		BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHDC
							MANDATORY LOT CONTROL WALL INDENT FOR WATER METER

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

BLOCK SIZE (m²)	MANDATORY MINIMUM WATER TANK SIZE (ML)
251-350	2
351-599	4
600-800	8
>801	10

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:500

ISSUE DATE: 04/06/2024

LEGEND

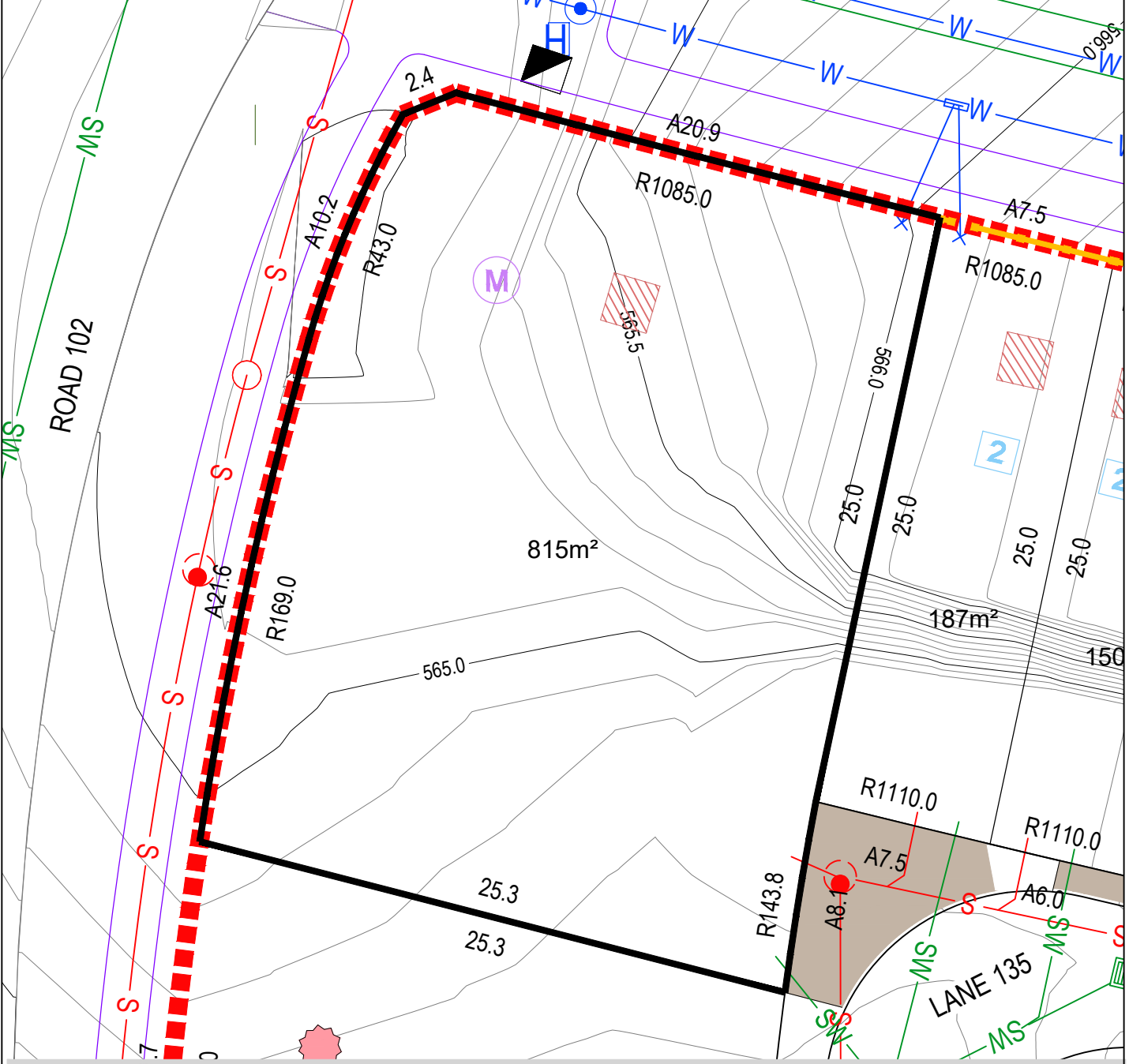
	STAGE BOUNDARY		SEWER MAIN / MANHOLE / TIE		SUBSTATION		MANDATORY TWO(2) STOREYS
	LOT BOUNDARY		STORMWATER MAIN / SUMP / MANHOLE / TIE		NBNCa. PIT		POTENTIALLY NOISE AFFECTED BLOCK
	EASEMENT		WATER MAIN / STOP VALVE / HYDRANT / TIE		STREETLIGHT / OPEN SPACE PEDESTRIAN LIGHTING		ONLY ONE ON BLOCK PARKING SPACE REQUIRED
	CONTOUR 0.5m INTERVAL		WATER MAIN (IRRIGATION)		ABOVE GROUND LINK PILLAR / MINI PILLAR		BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS
	CONTOUR 0.1m INTERVAL		REINFORCED CONCRETE DRIVEWAY TO BE BUILT BY PURCHASER/ CONSTRUCTED		WASTE COLLECTION POINT		BLOCK SUBJECT TO MID-SIZED PROVISIONS
	RETAINING WALL		STREET TREES		MANDATORY ALTERNATE PPOS MINIMUM DIMENSIONS 3m x 4m		MANDATORY SURVEILLANCE BLOCK
	SERVICES TRENCH		SEWER MAINTENANCE ACCESS ROUTE REQUIRED		PPOS MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8m		BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHDC
					MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL		MANDATORY LOT CONTROL WALL INDENT FOR WATER METER
					WATER TANK REQUIREMENTS REFER TABLE ON THE RIGHT		

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

BLOCK SIZE (m²)	MANDATORY MINIMUM WATER TANK SIZE (ML)
251-350	2
351-599	4
600-800	8
>801	10

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:250

ISSUE DATE: 04/06/2024

LEGEND

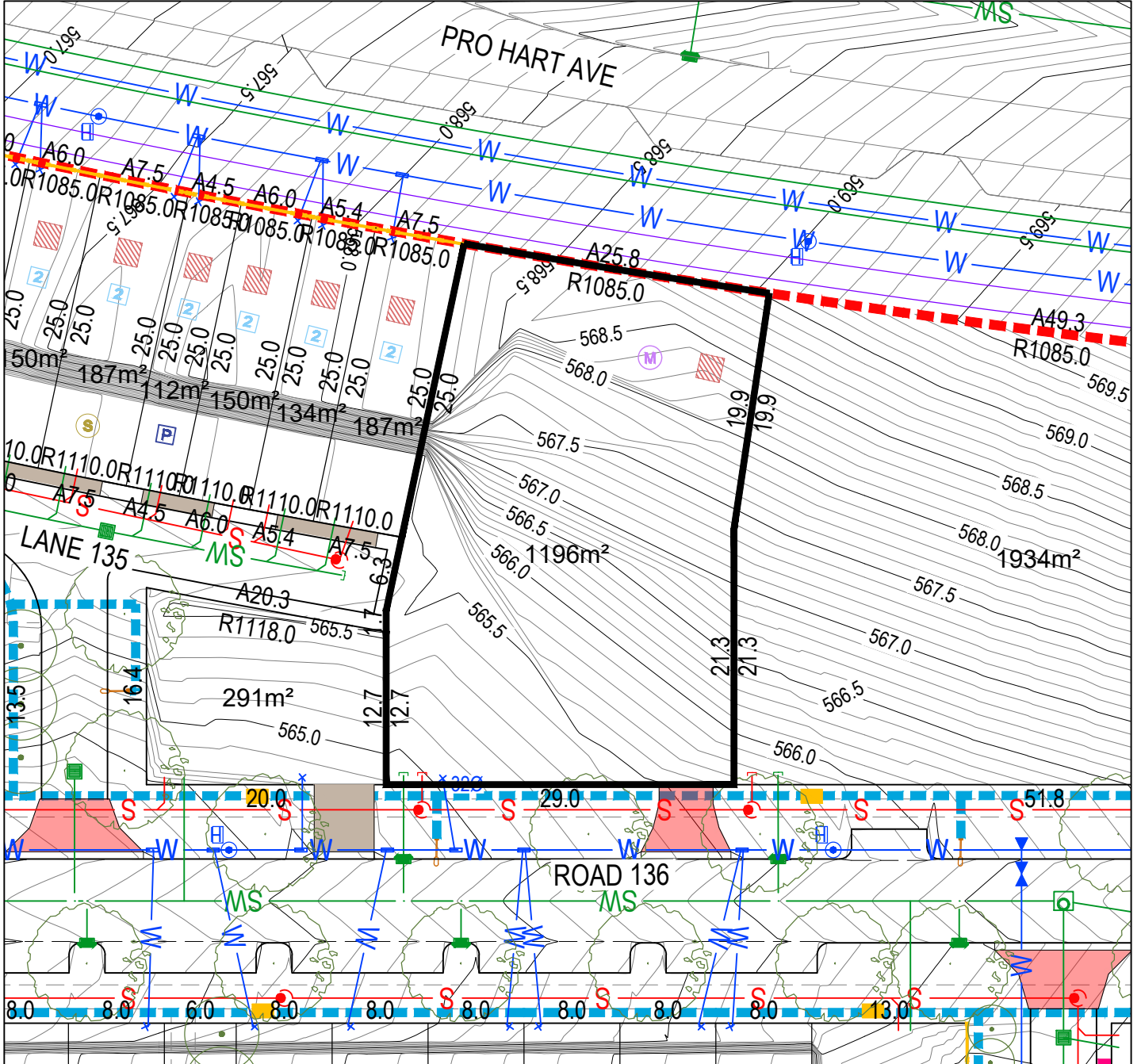
- | | | | | | | | |
|--|-----------------------|--|--|--|--|--|--|
| | STAGE BOUNDARY | | SEWER MAIN / MANHOLE / TIE | | SUBSTATION | | MANDATORY TWO(2) STOREYS |
| | LOT BOUNDARY | | STORMWATER MAIN / SUMP / MANHOLE / TIE | | NBNC Co. PIT | | POTENTIALLY NOISE AFFECTED BLOCK |
| | EASEMENT | | WATER MAIN / STOP VALVE / HYDRANT / TIE | | STREETLIGHT / OPEN SPACE PEDESTRIAN LIGHTING | | ONLY ONE ON BLOCK PARKING SPACE REQUIRED |
| | CONTOUR 0.5m INTERVAL | | WATER MAIN (IRRIGATION) | | ABOVE GROUND LINK PILLAR / MINI PILLAR | | BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS |
| | CONTOUR 0.1m INTERVAL | | REINFORCED CONCRETE DRIVEWAY TO BE BUILT BY PURCHASER/ CONSTRUCTED | | WASTE COLLECTION POINT | | BLOCK SUBJECT TO MID-SIZED PROVISIONS |
| | RETAINING WALL | | STREET TREES | | PPOS MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8m | | MANDATORY SURVEILLANCE BLOCK |
| | SERVICES TRENCH | | SEWER MAINTENANCE ACCESS ROUTE REQUIRED | | MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL | | BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHDC |
| | | | | | WATER TANK REQUIREMENTS REFER TABLE ON THE RIGHT | | MANDATORY LOT CONTROL WALL INDENT FOR WATER METER |

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN. REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

BLOCK SIZE (m²)	MANDATORY MINIMUM WATER TANK SIZE (ML)
251-350	2
351-599	4
600-800	8
>801	10

Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:500

ISSUE DATE: 04/06/2024

LEGEND

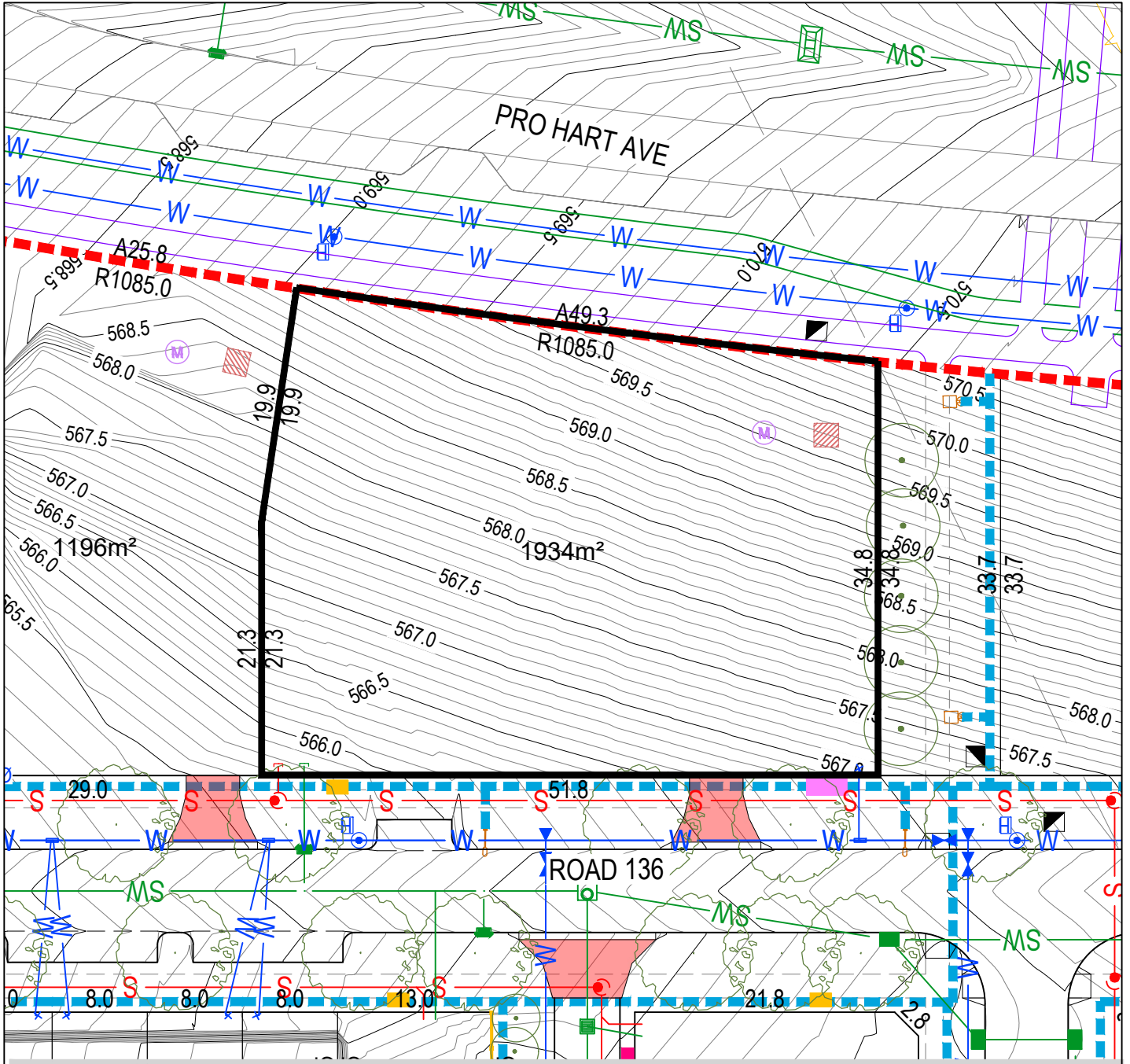
- | | | | | | | | |
|--|-----------------------|--|--|--|--|--|---|
| | STAGE BOUNDARY | | SEWER MAIN / MANHOLE / TIE | | SUBSTATION | | MANDATORY TWO(2) STOREYS |
| | LOT BOUNDARY | | STORMWATER MAIN / SUMP / MANHOLE / TIE | | NBNCs. PIT | | POTENTIALLY NOISE AFFECTED BLOCK |
| | EASEMENT | | WATER MAIN / STOP VALVE / HYDRANT / TIE | | STREETLIGHT / OPEN SPACE PEDESTRIAN LIGHTING | | ONLY ONE ON BLOCK PARKING SPACE REQUIRED |
| | CONTOUR 0.5m INTERVAL | | WATER MAIN (IRRIGATION) | | ABOVE GROUND LINK PILLAR / MINI PILLAR | | BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS |
| | CONTOUR 0.1m INTERVAL | | REINFORCED CONCRETE DRIVEWAY TO BE BUILT BY PURCHASER/ CONSTRUCTED | | WASTE COLLECTION POINT | | BLOCK SUBJECT TO MID-SIZED PROVISIONS |
| | RETAINING WALL | | STREET TREES | | PPOS MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8m | | MANDATORY SURVEILLANCE BLOCK |
| | SERVICES TRENCH | | SEWER MAINTENANCE ACCESS ROUTE REQUIRED | | MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL | | BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHC |
| | | | | | | | MANDATORY LOT CONTROL WALL INDENT FOR WATER METER |
| | | | | | | | |

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

BLOCK SIZE (m²)	MANDATORY MINIMUM WATER TANK SIZE (ML)
251-350	2
351-599	4
600-800	8
>801	10









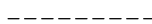



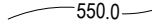
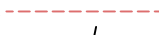

















Block Disclosure Plan



BLOCK LAYOUT - SCALE 1:500

ISSUE DATE: 04/06/2024

LEGEND

- | | | | |
|--|--|--|--|
|  STAGE BOUNDARY |  SEWER MAIN / MANHOLE / TIE |  SUBSTATION |  MANDATORY TWO(2) STOREYS |
|  LOT BOUNDARY |  STORMWATER MAIN / SUMP / MANHOLE / TIE |  NBNC Co. PIT |  POTENTIALLY NOISE AFFECTED BLOCK |
|  EASEMENT |  WATER MAIN / STOP VALVE / HYDRANT / TIE |  STREETLIGHT \ OPEN SPACE PEDESTRIAN LIGHTING |  ONLY ONE ON BLOCK PARKING SPACE REQUIRED |
|  550.0 CONTOUR 0.5m INTERVAL |  WATER MAIN (IRRIGATION) |  ABOVE GROUND LINK PILLAR / MINI PILLAR |  BLOCKS EXEMPT FROM R3 AND R6 OF THE WATERWAYS |
|  CONTOUR 0.1m INTERVAL |  REINFORCED CONCRETE DRIVEWAY TO BE BUILT BY PURCHASER/ CONSTRUCTED |  WASTE COLLECTION POINT |  BLOCK SUBJECT TO MID-SIZED PROVISIONS |
|  RETAINING WALL |  STREET TREES |  PPOS MINIMUM AREA 12m² WITH A MINIMUM DIMENSION 1.8m |  MANDATORY SURVEILLANCE BLOCK |
|  SERVICES TRENCH |  SEWER MAINTENANCE ACCESS ROUTE REQUIRED |  MANDATORY ALTERNATE PPOS MINIMUM DIMENSIONS 3m x 4m |  BLOCKS WITH ALTERNATE R37A PROVISIONS TO THE SDHDC |
| | |  MANDATORY REQUIREMENT TO BE DELIVERED AT UPPER FLOOR LEVEL |  MANDATORY LOT CONTROL WALL INDENT FOR WATER METER |
| | |  WATER TANK REQUIREMENTS REFER TABLE ON THE RIGHT | |

PLEASE NOTE: INFORMATION SHOWN IN THIS DRAWING IS PRELIMINARY ONLY, AND SUBJECT TO CHANGE PRIOR FINAL DESIGN REFER ALSO TO PLANNING CONTROLS PLAN AND FENCING CONTROLS PLAN

Disclaimer: All care has been taken in the preparation of this material. No responsibility is taken by the vendor for any errors or omissions, and details may be subject to change. All road designs, contours, block sizes, block dimensions, easements, services, ties and trees are preliminary only and are subject to change.

BLOCK SIZE (m²)	MANDATORY MINIMUM WATER TANK SIZE (ML)
251-350	2
351-599	4
600-800	8
>801	10

Appendix C



LEGEND

- - - MACNAMARA EDP 1 BOUNDARY
- PUBLIC LAND RESERVE BOUNDARY
- RETAINING WALL
- SITE REGRADING - NEW CONTOURS (1.0m CONTOUR INTERVAL)
- EXISTING CONTOURS (1.0m CONTOUR INTERVAL)
- - - GRADING LIMITS
- TREES RETAINED
- TREES TO BE REMOVED
- EXISTING 132 & 330KV POWER LINE AND EASEMENT
- PTWL BUFFER ZONE
- ROCK OUTCROP
- STAGE 1A1, 1A, 1B AND 1D IS NOT PART OF THIS SUBMISSION
- - - PROPOSED SPWB TRENCH

- CUT DEPTH GREATER THAN 5.5m
- CUT DEPTH 5.0m TO 5.5m
- CUT DEPTH 4.5m TO 5.0m
- CUT DEPTH 4.0m TO 4.5m
- CUT DEPTH 3.5m TO 4.0m
- CUT DEPTH 3.0m TO 3.5m
- CUT DEPTH 2.5m TO 3.0m
- CUT DEPTH 2.0m TO 2.5m
- CUT DEPTH 1.5m TO 2.0m
- CUT DEPTH 1.0m TO 1.5m
- CUT DEPTH 0.5m TO 1.0m
- CUT DEPTH 0.0m TO 0.5m
- FILL DEPTH 0.0m TO 0.5m
- FILL DEPTH 0.5m TO 1.0m
- FILL DEPTH 1.0m TO 1.5m
- FILL DEPTH 1.5m TO 2.0m
- FILL DEPTH 2.0m TO 2.5m
- FILL DEPTH 2.5m TO 3.0m
- FILL DEPTH 3.0m TO 3.5m
- FILL DEPTH 3.5m TO 4.0m
- FILL DEPTH 4.0m TO 4.5m
- FILL DEPTH 4.5m TO 5.0m
- FILL DEPTH GREATER THAN 5.0m

FOR CONTINUATION REFER TO DRAWING 19-000561-E1.27.02

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>FIRST ISSUE</th> <th>DESIGN</th> <th>DRAWN</th> <th>CHECK</th> <th>APPROVED</th> <th>DATE</th> </tr> <tr> <td></td> <td>JK</td> <td>JK</td> <td>JK</td> <td>JK</td> <td>31/07/2020</td> </tr> </table>	FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE		JK	JK	JK	JK	31/07/2020	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>AMENDMENT DETAILS</th> </tr> <tr> <td>A JK JK JK JK 18/12/2020 LAYOUT CHANGES & UPDATES FOR EDP COMMENTS</td> </tr> <tr> <td>B PL JK JK JK 30/03/2021 ISSUE FOR DA</td> </tr> <tr> <td>C YZ SR JK JK 16/11/2023 ISSUED FOR RECONSIDERATION</td> </tr> <tr> <td>D YZ JS JK JK 20/03/2024 ISSUED FOR RECONSIDERATION</td> </tr> </table>	AMENDMENT DETAILS	A JK JK JK JK 18/12/2020 LAYOUT CHANGES & UPDATES FOR EDP COMMENTS	B PL JK JK JK 30/03/2021 ISSUE FOR DA	C YZ SR JK JK 16/11/2023 ISSUED FOR RECONSIDERATION	D YZ JS JK JK 20/03/2024 ISSUED FOR RECONSIDERATION	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>STATUS</th> </tr> <tr> <td>ESTATE DEVELOPMENT PLAN</td> </tr> <tr> <td>Authorised for Issue:</td> </tr> <tr> <td>BY:</td> </tr> <tr> <td>SIGN:</td> </tr> <tr> <td>DATE:</td> </tr> </table>	STATUS	ESTATE DEVELOPMENT PLAN	Authorised for Issue:	BY:	SIGN:	DATE:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>SCALE</th> </tr> <tr> <td>0 10 20 30 40 50 60 70 80</td> </tr> <tr> <td>SCALE 1:1000 (A1) SCALE 1:2000 (A3)</td> </tr> </table>	SCALE	0 10 20 30 40 50 60 70 80	SCALE 1:1000 (A1) SCALE 1:2000 (A3)	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>CLIENT/CONSULTANTS</th> </tr> <tr> <td>Ginninderry redbox designgroup Tait Network</td> </tr> </table>	CLIENT/CONSULTANTS	Ginninderry redbox designgroup Tait Network	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>PROJECT</th> </tr> <tr> <td>MACNAMARA EDP 1</td> </tr> </table>	PROJECT	MACNAMARA EDP 1	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DRAWING TITLE</th> </tr> <tr> <td>FILL PLAN</td> </tr> <tr> <td>PROJECT No. 19-000561</td> </tr> <tr> <td>DRAWING No. E1.27.01</td> </tr> <tr> <td>REVISION D</td> </tr> </table>	DRAWING TITLE	FILL PLAN	PROJECT No. 19-000561	DRAWING No. E1.27.01	REVISION D
FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE																																				
	JK	JK	JK	JK	31/07/2020																																				
AMENDMENT DETAILS																																									
A JK JK JK JK 18/12/2020 LAYOUT CHANGES & UPDATES FOR EDP COMMENTS																																									
B PL JK JK JK 30/03/2021 ISSUE FOR DA																																									
C YZ SR JK JK 16/11/2023 ISSUED FOR RECONSIDERATION																																									
D YZ JS JK JK 20/03/2024 ISSUED FOR RECONSIDERATION																																									
STATUS																																									
ESTATE DEVELOPMENT PLAN																																									
Authorised for Issue:																																									
BY:																																									
SIGN:																																									
DATE:																																									
SCALE																																									
0 10 20 30 40 50 60 70 80																																									
SCALE 1:1000 (A1) SCALE 1:2000 (A3)																																									
CLIENT/CONSULTANTS																																									
Ginninderry redbox designgroup Tait Network																																									
PROJECT																																									
MACNAMARA EDP 1																																									
DRAWING TITLE																																									
FILL PLAN																																									
PROJECT No. 19-000561																																									
DRAWING No. E1.27.01																																									
REVISION D																																									

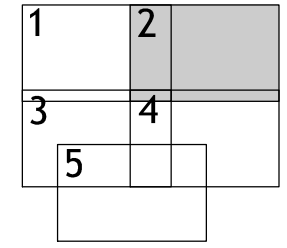
STAGES 1A1, 1A, 1B AND 1D ARE NOT PART OF THIS SUBMISSION



FOR CONTINUATION REFER TO DRAWING 19-000561-E1.27.01



MACNAMARA EDP2
REFER TO DA202342111



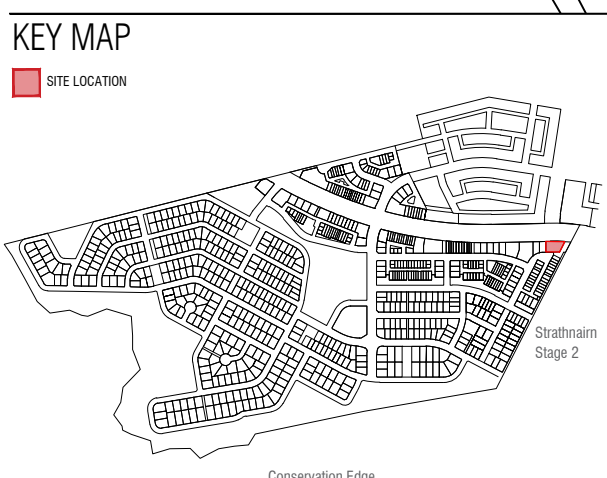
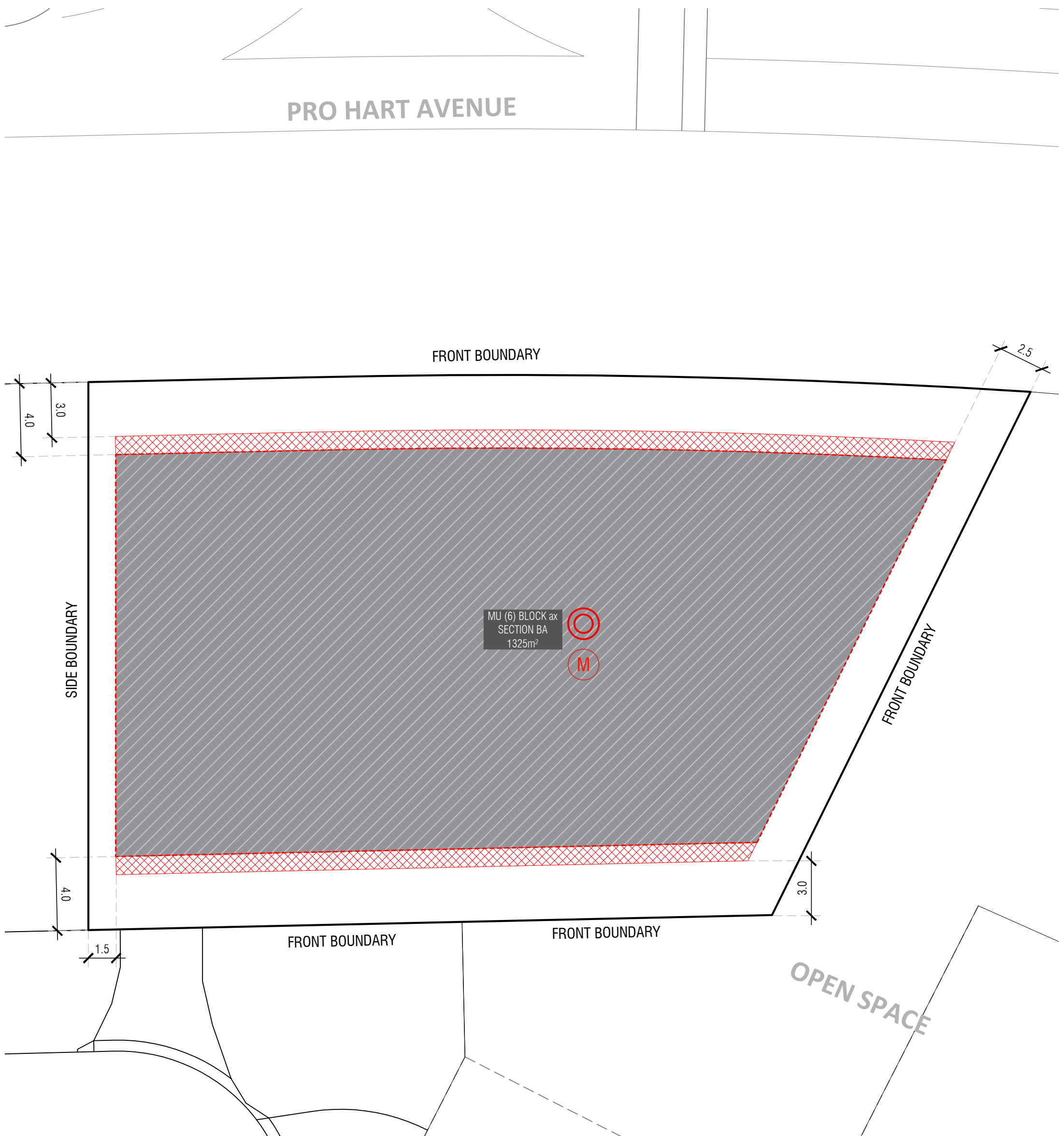
KEY PLAN
NOTES
1. REFER TO 19-000561-E1.27.01 FOR NOTES AND LEGEND

FOR CONTINUATION REFER TO DRAWING 19-000561-E1.27.04

FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS	STATUS	SCALE	WAE No.	PROJECT	DRAWING TITLE
A	JK	JK	JK	JK	20/08/2020	BLOCK AND SECTION NUMBERS UPDATED, BLOCKS AMENDED UNDER AND ADJACENT OVERHEAD LINES	ESTATE DEVELOPMENT PLAN	0 10 20 30 40 50 60 70 80 SCALE 1:1000 (A1) SCALE 1:2000 (A3)	Ginninderry redbox designgroup Tait Network	MACNAMARA EDP 1	FILL PLAN
B	JK	JK	JK	JK	18/12/2020	LAYOUT CHANGES & UPDATES FOR EDP COMMENTS	Authorised for Issue:				
C	PL	JK	JK	JK	30/03/2021	ISSUE FOR DA	BY:				
D	CPL	SKT	JK	JK	01/03/2023	EASEMENT ADDED w/BH	SIGN:				
E	YZ	SR	JK	JK	16/11/2023	ISSUED FOR RECONSIDERATION	DATE:				
F	YZ	JS	JK	JK	20/03/2024	ISSUED FOR RECONSIDERATION					

Appendix D

PRO HART AVENUE



- ### LEGEND
- Block Boundary
 - Boundary as Defined by Territory Plan
 - Potentially Noise Affected Blocks. Refer to the Belconnen District Specification
 - Blocks Exempt from on-block. Water Sensitive Urban Design Provisions. Refer to the Belconnen District Specification

- ### MINIMUM BOUNDARY SETBACKS
- Stage 1 EDP refer to the Belconnen District Specification
 - Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
 - Upper floor level (front setbacks) - external wall or unscreened element
 - Upper floor level (side setbacks) - external wall
 - Articulation Elements (Articulation Zone) refer to Belconnen District Specification
- ### INDICATIVE BUILDING FOOTPRINTS
- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

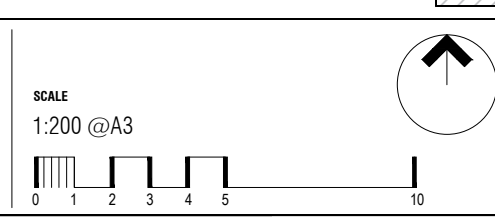
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ax
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	29/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.



Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN

PRO HART AVENUE

FRONT BOUNDARY

SIDE BOUNDARY

MU (6) BLOCK ax
SECTION BA
1325m²

FRONT BOUNDARY

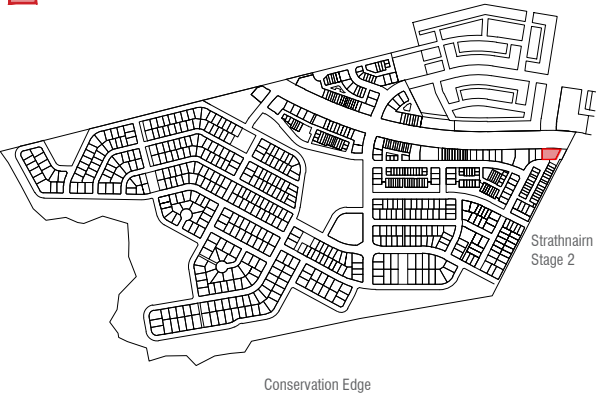
FRONT BOUNDARY

FRONT BOUNDARY

OPEN SPACE

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Construction and Finish**
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

- Mandatory F2, Adjacent to Open Space Fencing** Refer to Belconnen District Specifications
Mandatory height: 1.8m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
 Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

BLOCK INFORMATION

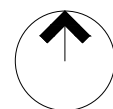
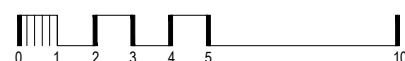
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ax
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	29/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

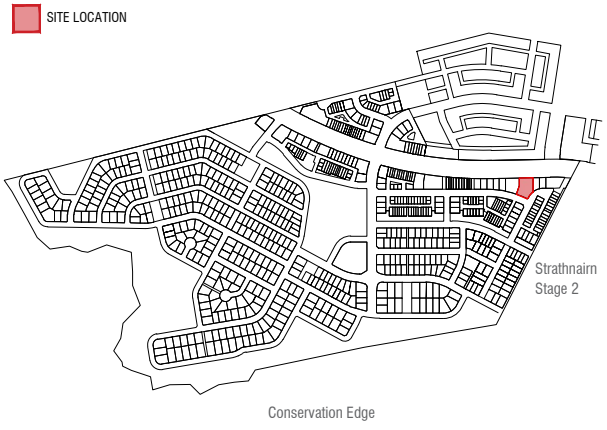
SCALE
1:200 @A3








MU (10) BLOCK ab
SECTION BA
2018m²


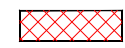
KEY MAP





LEGEND

-  Block Boundary
-  Boundary as Defined by Territory Plan
-  Potentially Noise Affected Blocks.
Refer to the Belconnen District Specification

MINIMUM BOUNDARY SETBACKS

-  Stage 1 EDP
refer to the Belconnen District Specification
Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
Upper floor level (front setbacks) - external wall or unscreened element
Upper floor level (side setbacks) - external wall
-  Articulation Elements (Articulation Zone)
refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
-  Lower Floor Level
 -  Upper Floor Levels

BLOCK INFORMATION

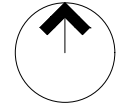
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ab
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

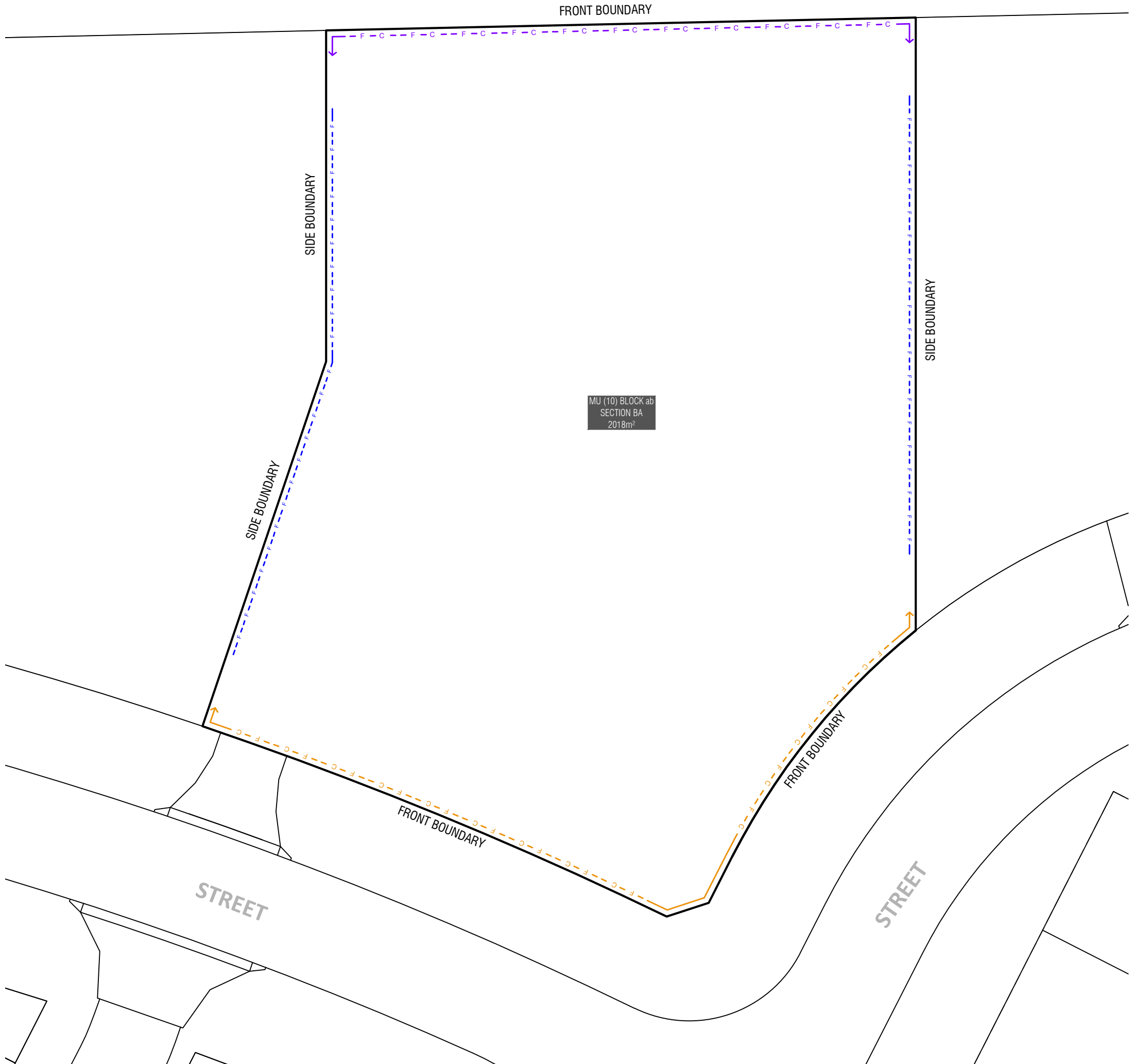
INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
1:250 @A3



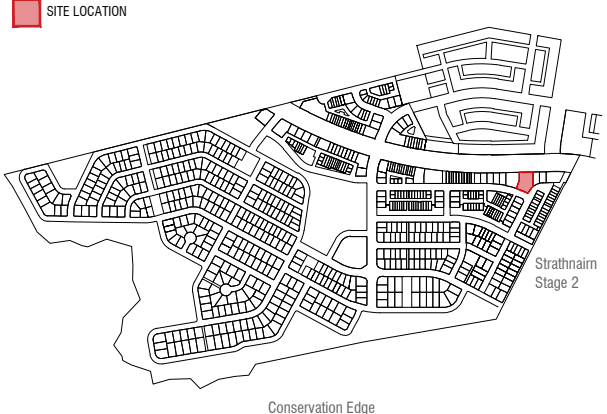
Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



MU (10) BLOCK ab
SECTION BA
2018m²

KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | Min 1m behind the front building line
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)
 - Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
 - F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
- masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
- Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification



Return Boundary Fencing to Building Line or Side Fence

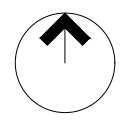
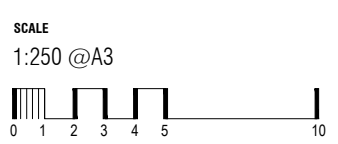
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ab
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

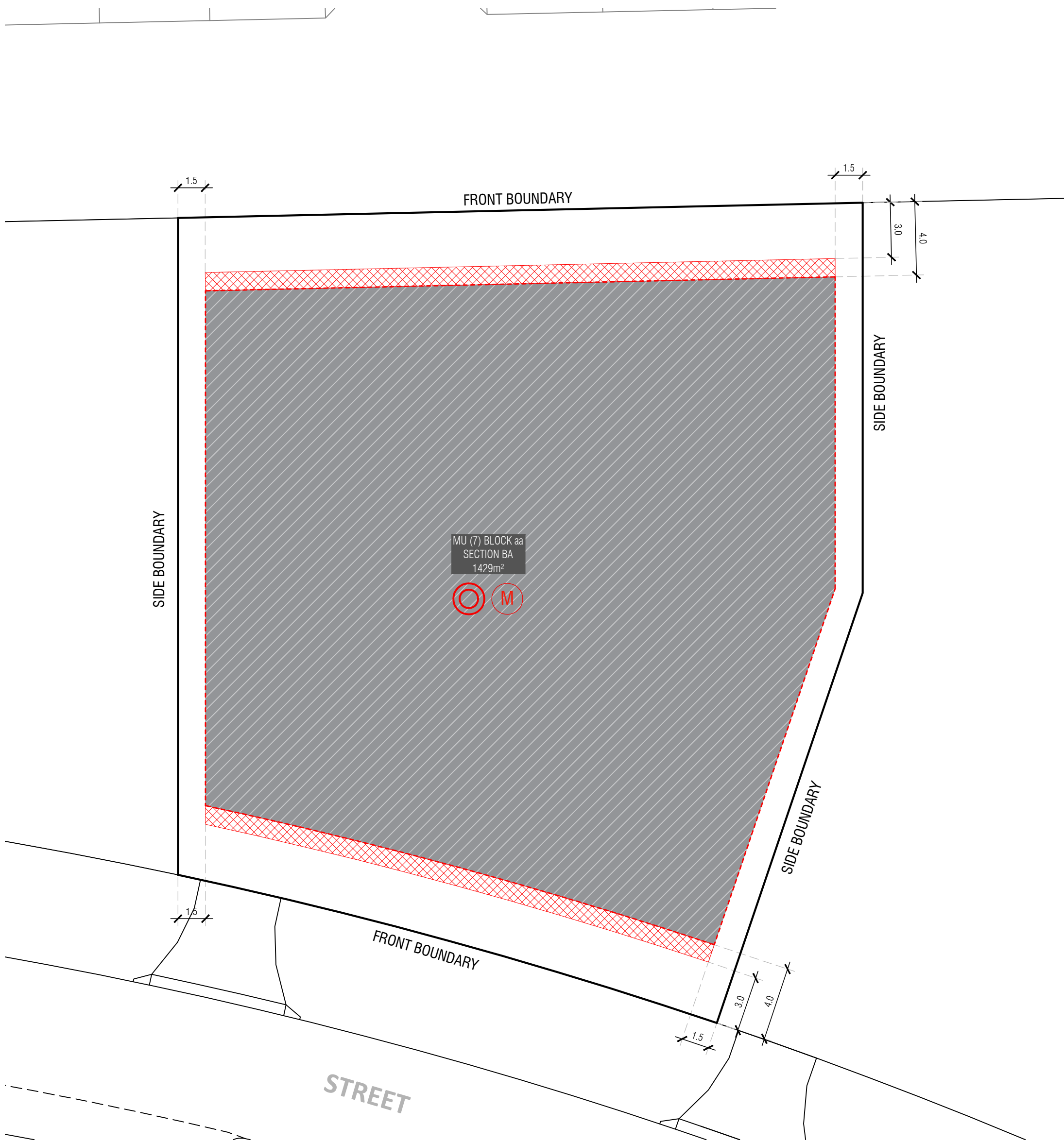
REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.



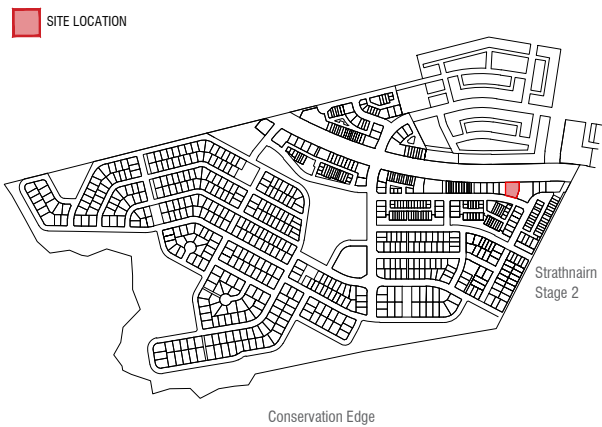
Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN







MU (7) BLOCK aa
SECTION BA
1429m²




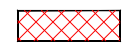
KEY MAP




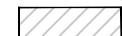
LEGEND

-  Block Boundary
- BOUNDARY**
 Boundary as Defined by Territory Plan
-  Potentially Noise Affected Blocks.
Refer to the Belconnen District Specification
-  Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. *Refer to the Belconnen District Specification*

MINIMUM BOUNDARY SETBACKS

-  Stage 1 EDP
refer to the Belconnen District Specification
- Lower floor level - external wall or unscreened element (Excluding Garages/Carports)*
- Upper floor level (front setbacks) - external wall or unscreened element*
- Upper floor level (side setbacks) - external wall*
-  Articulation Elements (Articulation Zone)
refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
-  Lower Floor Level
 -  Upper Floor Levels

BLOCK INFORMATION

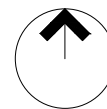
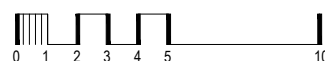
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	aa
SITE COVERAGE	<i>Refer to Residential Zones Policy and Belconnen District Specification</i>
HOUSING TYPE	MULTI UNIT SITE (7)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

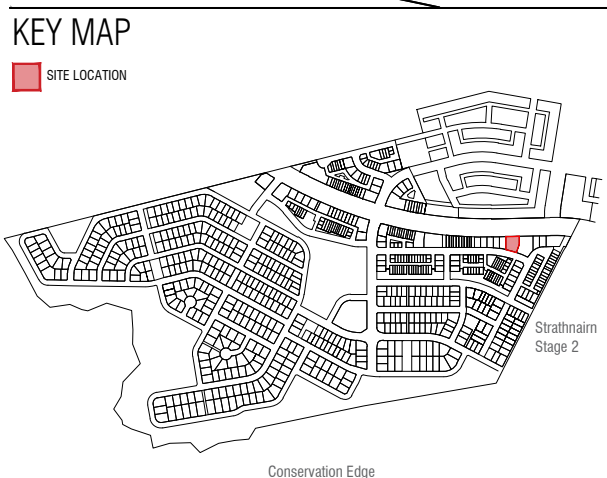
SCALE
1:250 @A3



PRO HART AVENUE



MU (7) BLOCK aa
SECTION BA
1429m²



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Construction and Finish**
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
 Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

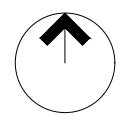
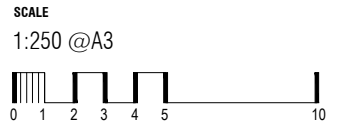
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	aa
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (7)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

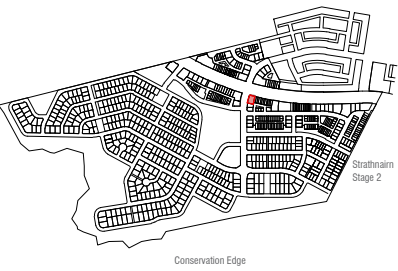


Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- BOUNDARY**
- Boundary as Defined by Territory Plan
- Potentially Noise Affected Blocks. Refer to the Belconnen District Specification
- Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. Refer to the Belconnen District Specification
- MINIMUM BOUNDARY SETBACKS**
- Residential Zones Technical Specifications front setbacks: refer to Schedule 1 Table 4 side and rear setbacks: refer to Schedule 2 Table 10
- Ground Floor - Unscreened
- Upper Floor - Unscreened

MINIMUM BOUNDARY SETBACKS

- Macnamara Stage 1 EDP refer to the Belconnen District Specification Lower floor level - external wall or unscreened element (Excluding Garages/Carports) Upper floor level (front setbacks) - external wall or unscreened element Upper floor level (side setbacks) - external wall
- All Floor Levels - External Wall (Screened) Refer to the Residential Zones Specification
- Articulation Elements (Articulation Zone) refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

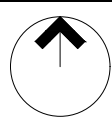
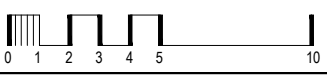
BLOCK INFORMATION

STAGE	1E
ZONE	RZ4
SECTION	BA
BLOCK	C
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (4)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	19/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
 INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
1:250 @A4



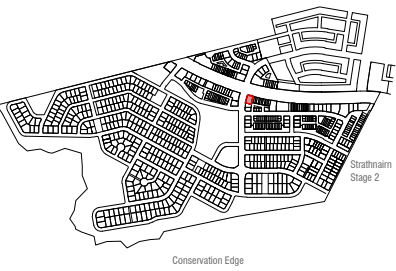
Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- BOUNDARY Boundary as Defined by Territory Plan

PRINCIPLE PRIVATE OPEN SPACE
 Refer to Belconnen District Specification and Residential Zones Specification



Return Boundary Fencing to Building Line or Side Fence

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane**
 Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
 Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
 - Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
 Mandatory height: 1.5m
 Minimum Boundary Length: 100% (full length of boundary)
 Minimum setback from boundary: 800m
 - F4, Courtyard Wall** Refer to Belconnen District Specifications
 Mandatory height: 1.5m
 Minimum Boundary Length: 50%
 Minimum setback from boundary: Nil
- Construction and Finish**
 No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
 Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
- masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
- Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

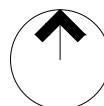
BLOCK INFORMATION

STAGE	1E
ZONE	RZ4
SECTION	BA
BLOCK	C
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (4)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	19/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
 INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

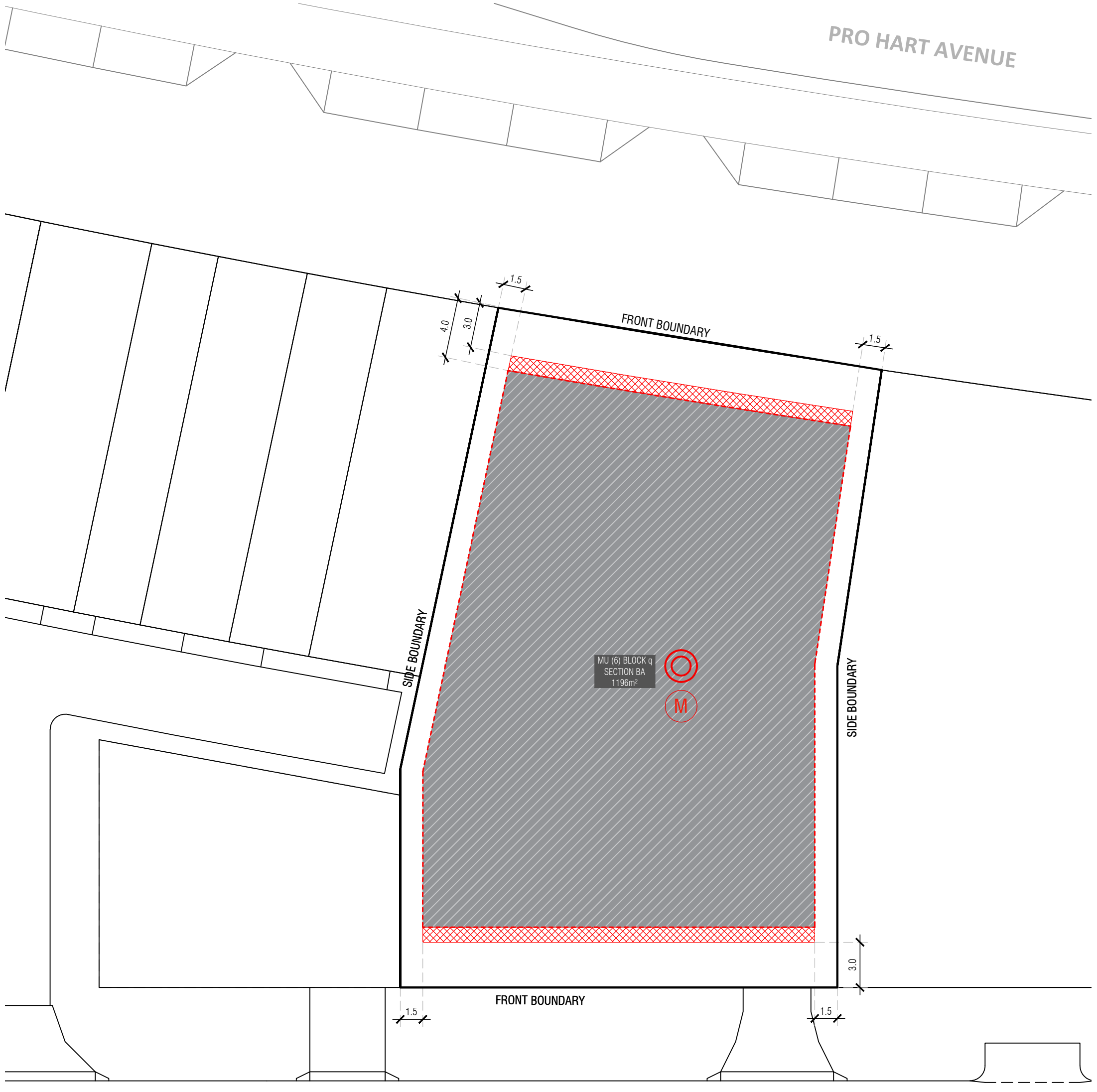
SCALE
 1:250 @A4



Ginninderry

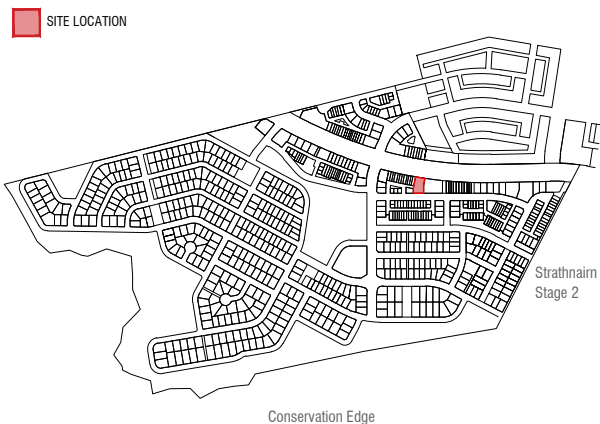
**BLOCK PLANNING CONTROLS
 FENCING CONTROLS PLAN**

PRO HART AVENUE







STREET






KEY MAP





LEGEND

-  Block Boundary
-  Boundary as Defined by Territory Plan
-  Potentially Noise Affected Blocks.
Refer to the Belconnen District Specification
-  Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream.
Refer to the Belconnen District Specification

MINIMUM BOUNDARY SETBACKS

-  Stage 1 EDP
refer to the Belconnen District Specification
-  Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
-  Upper floor level (front setbacks) - external wall or unscreened element
-  Upper floor level (side setbacks) - external wall
-  Articulation Elements (Articulation Zone)
refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
-  Lower Floor Level
 -  Upper Floor Levels

BLOCK INFORMATION

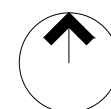
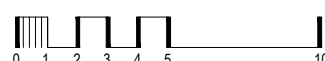
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	q
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
1:250 @A3



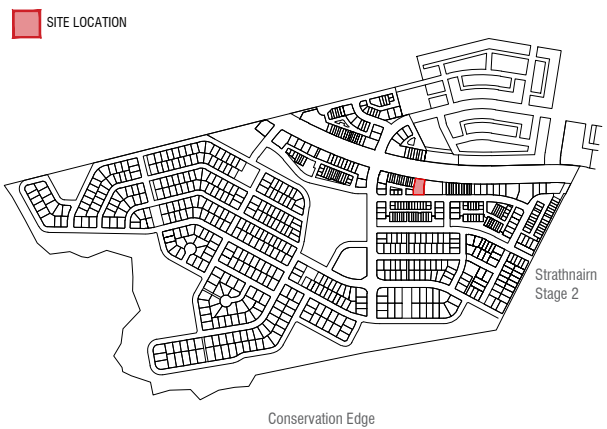
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



MU (6) BLOCK q
SECTION BA
1196m²

STREET

KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil

Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

Construction and Finish
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:

- masonry or stonework;
- dressed hardwood timber; or
- powder-coated aluminium.
- openings to be a minimum of 10mm.

Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification



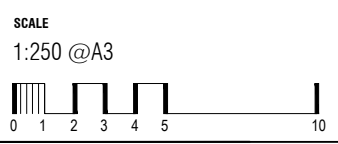
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	q
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

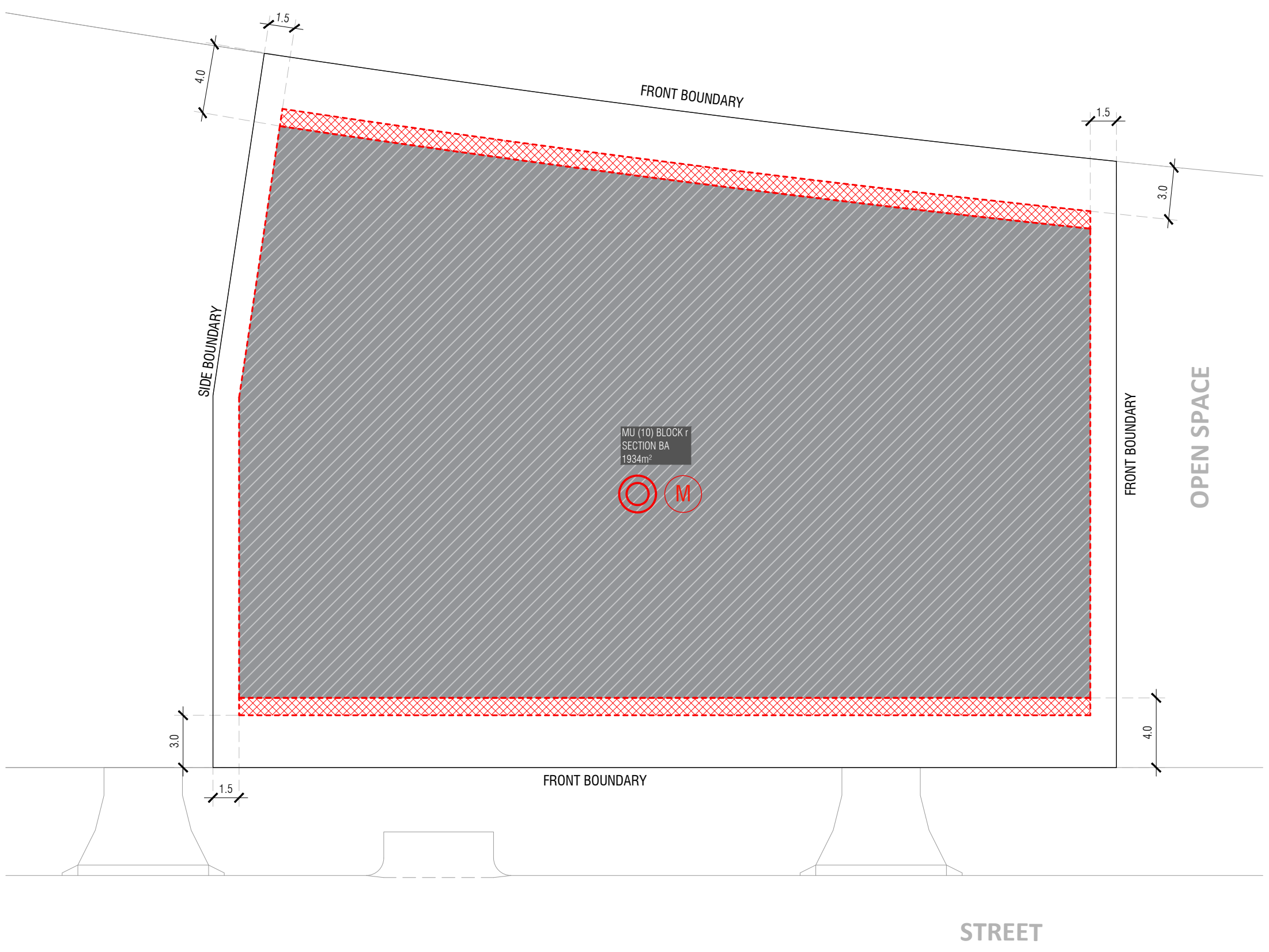
DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

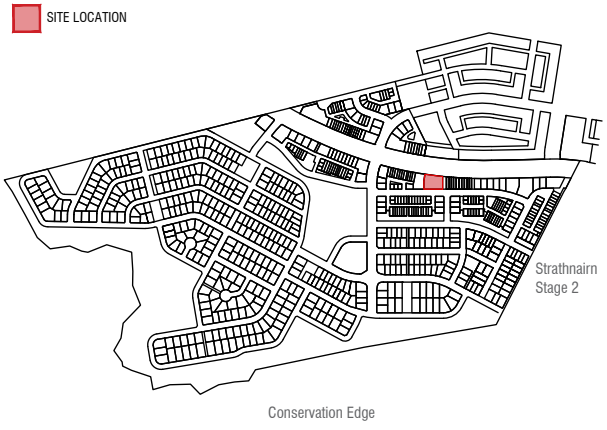


PRO HART AVENUE

PRO HART AVENUE



KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan
- Potentially Noise Affected Blocks. Refer to the Belconnen District Specification
- Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. Refer to the Belconnen District Specification

MINIMUM BOUNDARY SETBACKS

- Stage 1 EDP refer to the Belconnen District Specification
- Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
- Upper floor level (front setbacks) - external wall or unscreened element
- Upper floor level (side setbacks) - external wall
- Articulation Elements (Articulation Zone) refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks only This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

BLOCK INFORMATION

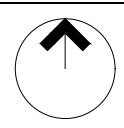
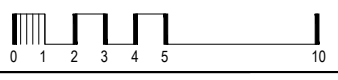
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	r
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24
C	SG	DZ	JM	05/06/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
1:250 @A3



Ginninderry

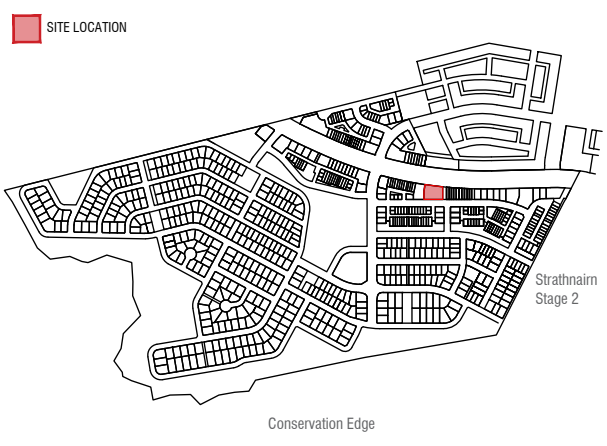
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN

PRO HART AVENUE

PRO HART AVENUE



KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Construction and Finish**
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

- Mandatory F2, Adjacent to Open Space Fencing** Refer to Belconnen District Specifications
Mandatory height: 1.8m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

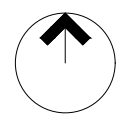
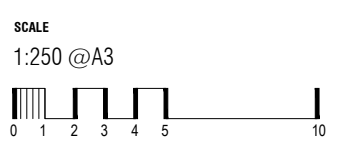
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	r
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24
C	SG	DZ	JM	05/06/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.



Ginninderry

BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN

**Macnamara
Housing Development
Requirements
Application Form**

Design Application Form

Please fill in and submit to designs@ginninderry.com

(A Design re-submission administration fee will apply after the 1st approval)

Property details

Block/ Section	
Block size	

Purchaser details

Name	
Phone	
Mobile	
Email	

Designer details

Name	
Company	
Phone	
Mobile	
Email	

Builder details

Name	
Company	
Phone	
Mobile	
Email	

Contact us:

E: designs@ginninderry.com

P: 1800 316 900

Required documentation:

1. Site plan @ 1:200

- Overall Building Footprint with setback dimensions to the boundaries
- North point site contours
- Services and Easements
- Location of all AC, HWS, RWT, Solar Battery, Fan units, clothes lines
- Extent of retaining walls
- Location and dimensions of (PPOS)
- Finished floor levels for the house and garage
- Area schedule of the dwelling including block size / POS / PPOS / all GFA / Garage / carports / hardstands

2. Sediment and Erosion Control Plan @ 1:200

3. Floor Plans @ 1:100

- Fully dimensioned floor plan for each level
- Show all room names
- All internal walls / doors
- Finished levels
- Area schedule

4. Elevations @ 1:100

- North / South / East / West
- NGL & FGL
- FFL / FCL
- Roof Pitch
- Extent of Cut and Fill

5. Sections @ 1:100

- Section A-A
- Section B-B
- NGL & FGL
- All structure / internal walls
- Extent of Cut and Fill and retaining walls

6. Roof Plan @ 1:100

- Roof pitches
- Eaves depths
- Solar panel location
- Roof material & colour

7. Landscape / Fencing Plan @ 1:200

- All side and rear fencing (refer to PCP's for each block)
- All courtyard walls
- Mail box type, material and location
- Extent of all retaining walls
- Area schedule of soft planting zone / canopy cover / paved or non-permeable areas

8. External Colours and Finishes Schedule

- Front façades @ 1:100
- Identify all front façade materials and colours
- Schedule or a table specification and image of proposed materials (if alternate from the pre-approved finishes)

9. NatHERS EER Certificate

- NatHERS energy efficiency rating report and certificate generated by NatHERS approved software package
- NatHERS stamped plans

10. Sustainability Schedule

External Colours and Finishes Schedule

Please tick the boxes below

Roof Tiles – Monier

Atura	<input type="checkbox"/> Mist Grey	<input type="checkbox"/> Saltspray	<input type="checkbox"/> Seashell	<input type="checkbox"/> Wildrice
Horizon	<input type="checkbox"/> Mist Grey	<input type="checkbox"/> Saltspray	<input type="checkbox"/> Seashell	<input type="checkbox"/> Wildrice

Roof Tiles – Lutum

Vogue	<input type="checkbox"/> Quartz	<input type="checkbox"/> Cotton
Contour	<input type="checkbox"/> Quartz	<input type="checkbox"/> Cotton
Slimline	<input type="checkbox"/> Quartz	<input type="checkbox"/> Cotton

Roof Tiles – Bristle

Prestige	<input type="checkbox"/> Silver Gum	<input type="checkbox"/> Aspen		
Classic	<input type="checkbox"/> Alabaster	<input type="checkbox"/> Linen	<input type="checkbox"/> Silver Gum	<input type="checkbox"/> Aspen, Vanilla
Planum	<input type="checkbox"/> Turron	<input type="checkbox"/> Ghost White		

Metal Roof – Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Paperbark
<input type="checkbox"/> Dover White	<input type="checkbox"/> Southerly	<input type="checkbox"/> Bluegum		

Fence Colour - Colorbond

Side and Rear Boundary Fencing

<input type="checkbox"/> Jasper

Fence Infill Panel / Street Facing Fencing - Colorbond

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist			

Garage Doors

<input type="checkbox"/> Basalt	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray	
<input type="checkbox"/> Jasper	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver	
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Blushed Teak	<input type="checkbox"/> Classic Cedar	<input type="checkbox"/> Iron Bark	<input type="checkbox"/> Kwila
<input type="checkbox"/> Merbau	<input type="checkbox"/> Silky Oak	<input type="checkbox"/> Weathered Timber	<input type="checkbox"/> Western Red Cedar		

Façade Colours Walls / Render / Cladding

<input type="checkbox"/> Basalt	<input type="checkbox"/> Cove	<input type="checkbox"/> Dune	<input type="checkbox"/> Evening Haze	<input type="checkbox"/> Gully	<input type="checkbox"/> Windspray
<input type="checkbox"/> Jasper	<input type="checkbox"/> Natural Pearl	<input type="checkbox"/> Shale Grey	<input type="checkbox"/> Surfmist	<input type="checkbox"/> Wallaby	<input type="checkbox"/> Ultra Silver
<input type="checkbox"/> Precious Silver	<input type="checkbox"/> Silver Medalist	<input type="checkbox"/> Beige Royal	<input type="checkbox"/> Braid	<input type="checkbox"/> Cru	<input type="checkbox"/> Lexicon
<input type="checkbox"/> Light Rice	<input type="checkbox"/> Linseed	<input type="checkbox"/> Natural White	<input type="checkbox"/> Oyster Linen	<input type="checkbox"/> Terrace White	<input type="checkbox"/> Toffee Fingers
<input type="checkbox"/> Tuft	<input type="checkbox"/> Warm Neutral				

Bricks – Austral

La Paloma	<input type="checkbox"/> Miro				
Urban One	<input type="checkbox"/> Silver	<input type="checkbox"/> Chiffon	<input type="checkbox"/> Pepper		
Wilderness Design	<input type="checkbox"/> Silver Birch	<input type="checkbox"/> Blue Gum	<input type="checkbox"/> Blackbutt		
Everyday Life	<input type="checkbox"/> Engage	<input type="checkbox"/> Freedom	<input type="checkbox"/> Leisure		
Whitsunday Range	<input type="checkbox"/> Brampton	<input type="checkbox"/> Orpheus			
San Selmo Smoked	<input type="checkbox"/> Grey Cashmere (F.O.)	<input type="checkbox"/> Cloudy Silver (F.O.)	<input type="checkbox"/> Opaque Slate (F.O.)	<input type="checkbox"/> Wild Storm (F.O.)	
Metallix	<input type="checkbox"/> Quartz	<input type="checkbox"/> Platinum	<input type="checkbox"/> Titanium	<input type="checkbox"/> Cuprum	
	<input type="checkbox"/> Bronze	<input type="checkbox"/> Gun Metal Blue			
Park Lane	<input type="checkbox"/> Biltmore	<input type="checkbox"/> Dorchester	<input type="checkbox"/> Mayfair		
	<input type="checkbox"/> Westminster	<input type="checkbox"/> Chesterfield (F.O.)			

F.O. Feature area only

Bricks – PGH

Alfresco	 <input type="checkbox"/> Vino	 <input type="checkbox"/> Chocolatto	 <input type="checkbox"/> Truffle	 <input type="checkbox"/> Espresso
	 <input type="checkbox"/> Urban Blue			
Dry Pressed Architectural	 <input type="checkbox"/> Bennelong Blue	 <input type="checkbox"/> Bradfield Bronze		
	 <input type="checkbox"/> Macquarie Blend	 <input type="checkbox"/> Tinto Cream	 <input type="checkbox"/> Silver Shadow	
	 <input type="checkbox"/> McKinlay Brown	 <input type="checkbox"/> Monash Grey		
Dark and Stormy	 <input type="checkbox"/> Monsoon	 <input type="checkbox"/> Thunder	 <input type="checkbox"/> Whirlwind	 <input type="checkbox"/> Zephyr
Foundations	 <input type="checkbox"/> Gravel	 <input type="checkbox"/> Stone		
Highlands	 <input type="checkbox"/> Blackheath	 <input type="checkbox"/> Leura (F.O.)		
Manhattan	 <input type="checkbox"/> Chelsea (F.O.)	 <input type="checkbox"/> East Hampton (F.O.)	 <input type="checkbox"/> Tribeca (F.O.)	
Metallic	 <input type="checkbox"/> Nickel Flash	 <input type="checkbox"/> Pewter	 <input type="checkbox"/> Blue Steel Flash	
Morada	 <input type="checkbox"/> Blanco	 <input type="checkbox"/> Ceniza	 <input type="checkbox"/> Nero (F.O.)	 <input type="checkbox"/> Gris
Opaline	 <input type="checkbox"/> Tourmaline	 <input type="checkbox"/> Garnet	 <input type="checkbox"/> Tiger Eye	
Pure Linens	 <input type="checkbox"/> Cinders & Soot	 <input type="checkbox"/> Flannel Grey	 <input type="checkbox"/> Pebble Creek	 <input type="checkbox"/> Whispering White
Smooth	 <input type="checkbox"/> Mineral	 <input type="checkbox"/> Volcanic	 <input type="checkbox"/> Cream	 <input type="checkbox"/> Pearl Grey
	 <input type="checkbox"/> Brown	 <input type="checkbox"/> Terracota	 <input type="checkbox"/> Choc Tan	 <input type="checkbox"/> Copper Glow
	 <input type="checkbox"/> Black & Tan			
Urban Essence	 <input type="checkbox"/> Melbourne Blue (F.O.)	 <input type="checkbox"/> Storm (F.O.)		
Velour	 <input type="checkbox"/> Terracota	 <input type="checkbox"/> Cream	 <input type="checkbox"/> Pearl Grey	 <input type="checkbox"/> Red
	 <input type="checkbox"/> Brown	 <input type="checkbox"/> Choc Tan	 <input type="checkbox"/> Mineral	 <input type="checkbox"/> Volcanic

Additional Colours & Finishes - Subject to Approval

Please include brand, specification, profile and colour of proposed materials, sample photos/swatches should also be provided.

Cladding	
Retaining Walls	
Courtyard Walls	
Mailbox	
Feature Material	

F.O. Feature area only

Sustainability Schedule

Minimum Requirements as per element 2.0 Efficient Home Design

Solar PV Array

Size (kW)	
Home Energy Management System	<input type="checkbox"/> Evergen <input type="checkbox"/> Reposit (battery only)
Inverter:	
Brand	
Model No.	

Battery (optional):

Brand	
Size (kWh)	

Hot Water System:

	<input type="checkbox"/> Solar <input type="checkbox"/> Heat Pump
Brand	
Model No.	

Air Conditioning System (if installed):

	<input type="checkbox"/> RCAC <input type="checkbox"/> Other, please specify
Brand	
Indoor Model No.	
Outdoor Model No.	

Rainwater Tank:

Size (L)	
	<input type="checkbox"/> Connected to at least a toilet, laundry cold water and external taps

Water Fixtures note:

Please complete or provide equivalent selection list (must clearly show star rating)

Note: Specification sheets, builders inclusions lists sheets or contract excerpts will not be accepted.

Water Fixtures:

Room	Type	Model	Flow Rate	Star Rating
Eg. Kitchen	Eg. Sink mixer	Eg. Clark6310	Eg. 5L/min	Eg. 4 Star

Ginninderry 