



Block Planning Control Plans

Large multi-unit sites



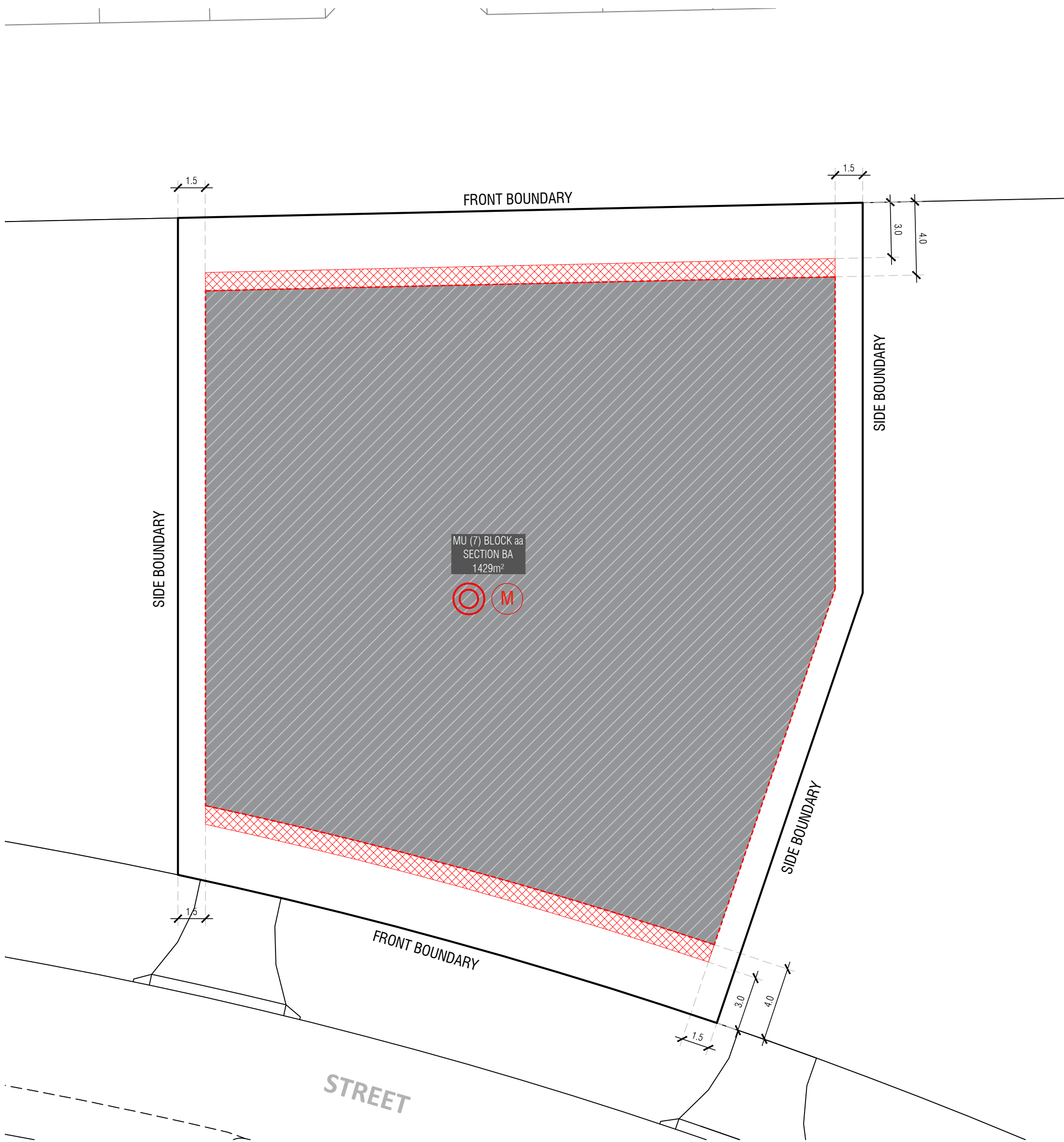
Suburban Land
Agency



RIVERVIEW
GROUP

Large multi-unit sites

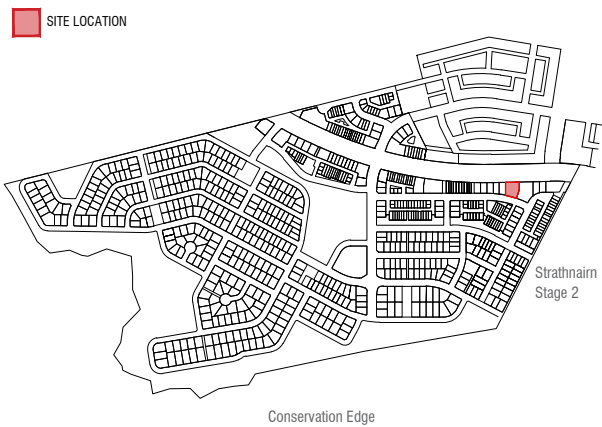
Block	Section	Number of blocks/units*	Area (m ²)	Suburb	Expected settlement	Compliance bond required
aa	BA	7	1,429	Macnamara	Jul 2025 - Dec 2025	30,000
ab	BA	10	2,018	Macnamara	Jul 2025 - Dec 2025	40,000
ax	BA	6	1,325	Macnamara	Jul 2025 - Dec 2025	30,000
c	BA	4	815	Macnamara	Jul 2025 - Dec 2025	20,000
q	BA	6	1,196	Macnamara	Jul 2025 - Dec 2025	25,000
r	BA	10	1,934	Macnamara	Jul 2025 - Dec 2025	40,000
1	61	15	2,923	Strathnairn	6 months	50,000
2	61	13	2,865	Strathnairn	6 months	50,000
1	84	70	7,033	Strathnairn	6 months	120,000



MU (7) BLOCK aa
SECTION BA
1429m²



KEY MAP



LEGEND

- Block Boundary
- BOUNDARY**
 Boundary as Defined by Territory Plan
- Potentially Noise Affected Blocks.
Refer to the Belconnen District Specification
- Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. *Refer to the Belconnen District Specification*

MINIMUM BOUNDARY SETBACKS

- Stage 1 EDP
refer to the Belconnen District Specification
- Lower floor level - external wall or unscreened element (Excluding Garages/Carports)*
- Upper floor level (front setbacks) - external wall or unscreened element*
- Upper floor level (side setbacks) - external wall*
- Articulation Elements (Articulation Zone)
refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

BLOCK INFORMATION

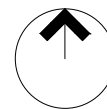
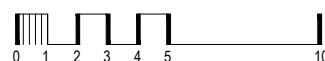
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	aa
SITE COVERAGE	<i>Refer to Residential Zones Policy and Belconnen District Specification</i>
HOUSING TYPE	MULTI UNIT SITE (7)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST DISTRICT SPECIFICATIONS UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
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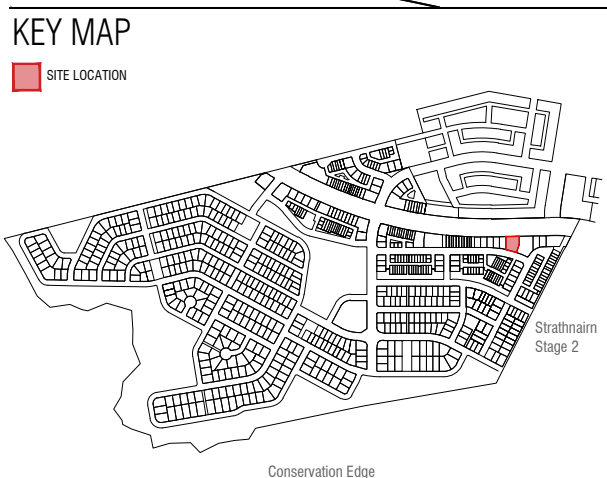
Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN

PRO HART AVENUE



MU (7) BLOCK aa
SECTION BA
1429m²



BLOCK INFORMATION	
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	aa
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (7)

LEGEND

Block Boundary

Boundary as Defined by Territory Plan

BOUNDARY FENCING

Side, Rear and Boundaries Fronting Rear Lane
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | Min 1m behind the front building line

Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

Mandatory F1, Courtyard Wall Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m

F4, Courtyard Wall Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil

Construction and Finish
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:

- masonry or stonework;
- dressed hardwood timber; or
- powder-coated aluminium.
- openings to be a minimum of 10mm.

Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

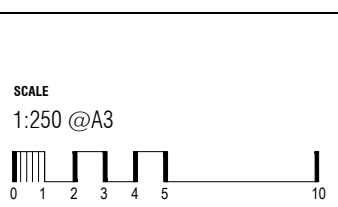
PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

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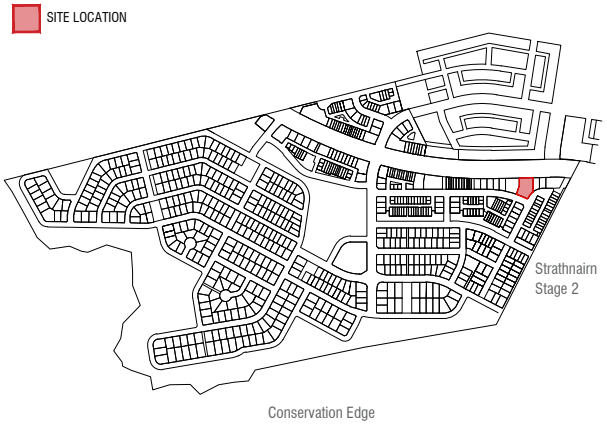


Ginninderry

BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan
- Potentially Noise Affected Blocks. Refer to the Belconnen District Specification

MINIMUM BOUNDARY SETBACKS

- Stage 1 EDP refer to the Belconnen District Specification
Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
Upper floor level (front setbacks) - external wall or unscreened element
Upper floor level (side setbacks) - external wall
- Articulation Elements (Articulation Zone) refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

BLOCK INFORMATION

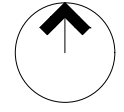
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ab
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

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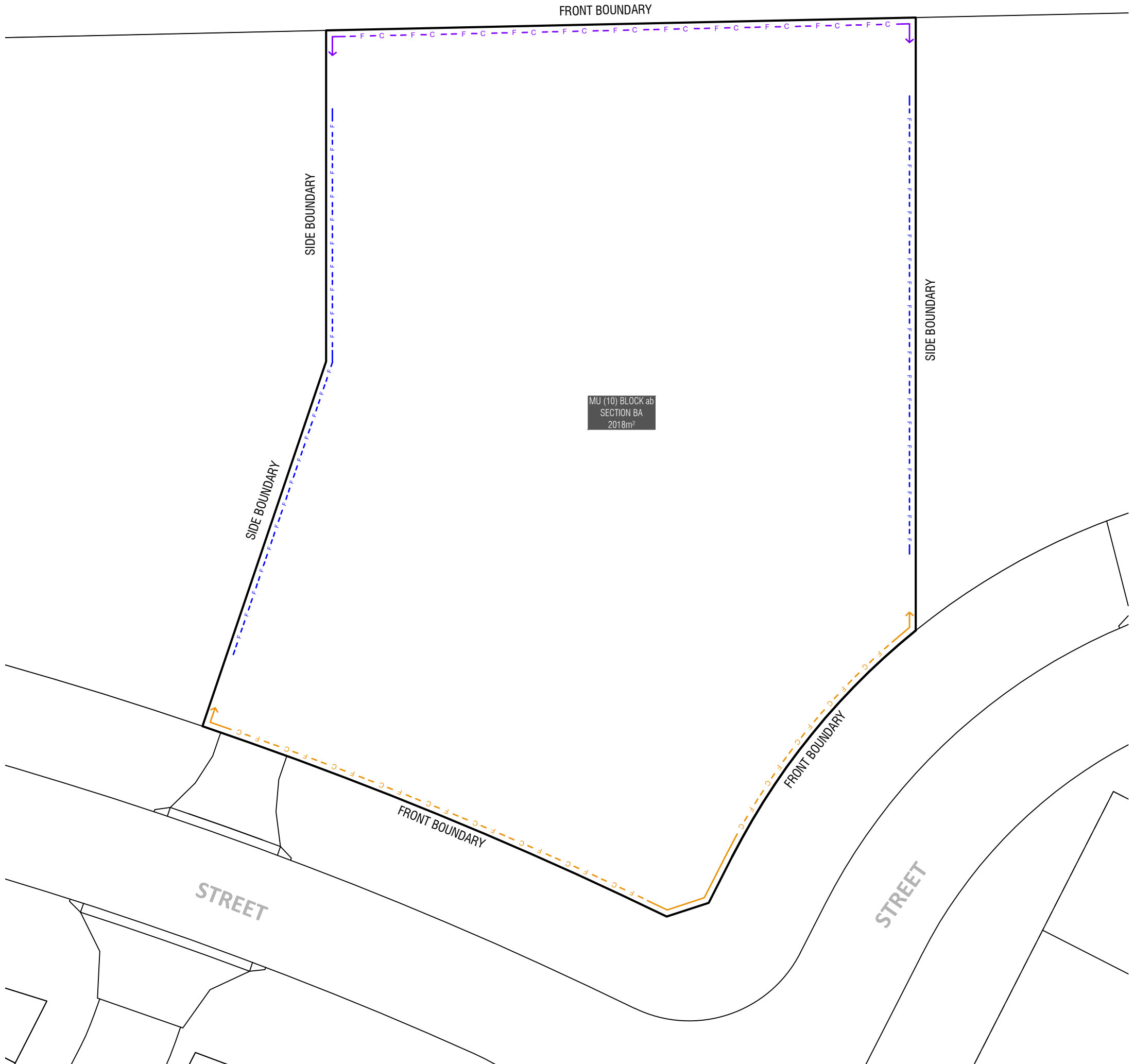
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SCALE
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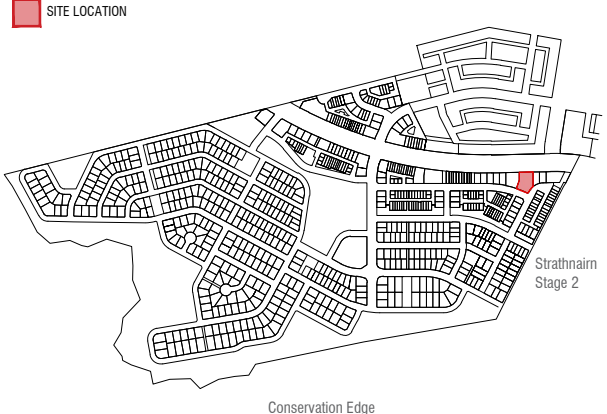


Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | Min 1m behind the front building line
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)
 - Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
 - F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
- masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
- Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification



Return Boundary Fencing to Building Line or Side Fence

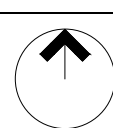
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ab
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

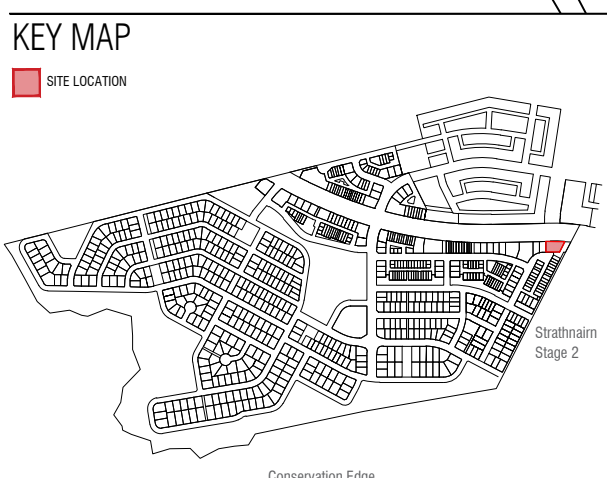
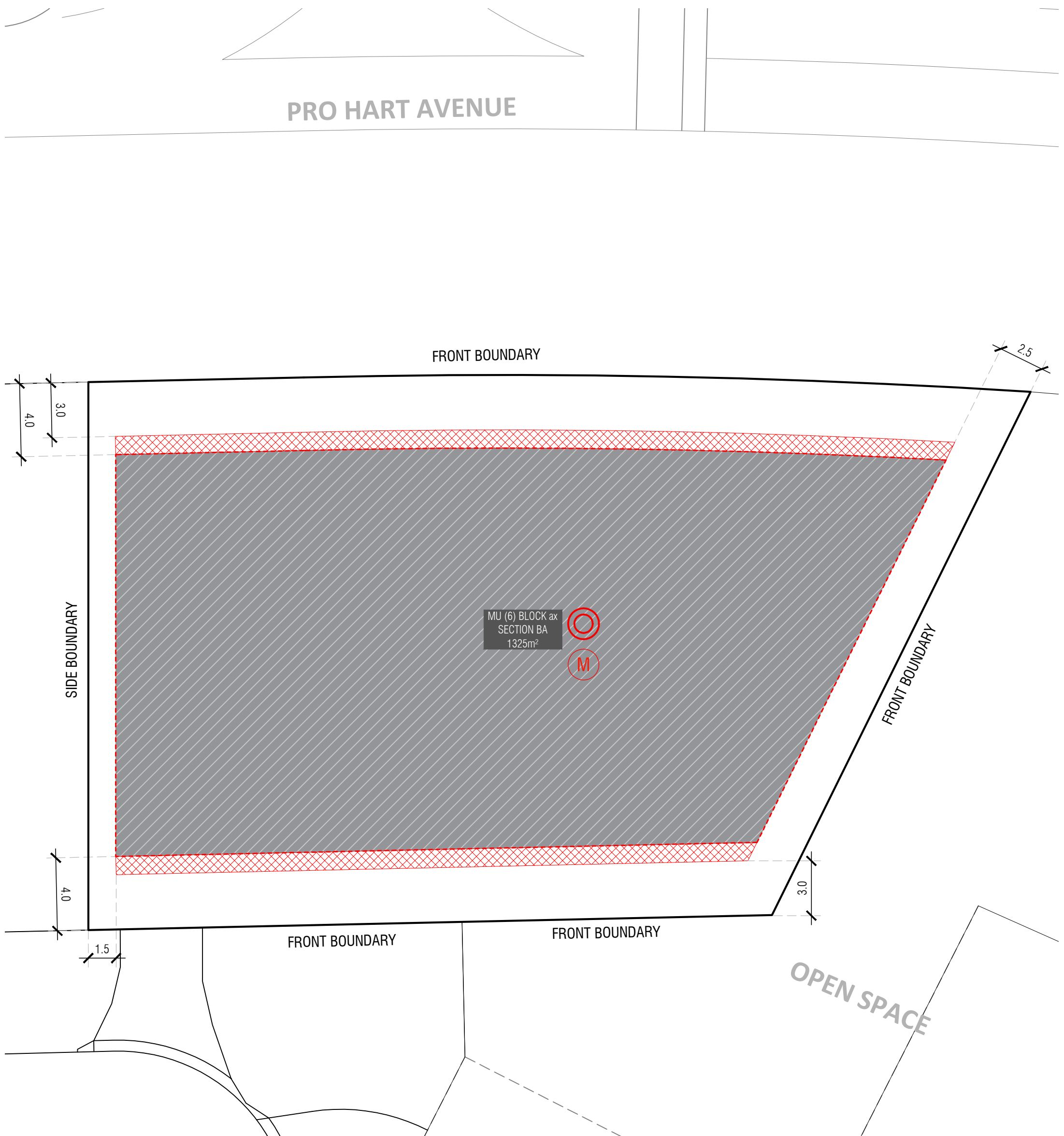
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Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN

PRO HART AVENUE



- ### LEGEND
- Block Boundary
 - Boundary as Defined by Territory Plan
 - Potentially Noise Affected Blocks. Refer to the Belconnen District Specification
 - Blocks Exempt from on-block Water Sensitive Urban Design Provisions. Refer to the Belconnen District Specification

- ### MINIMUM BOUNDARY SETBACKS
- Stage 1 EDP refer to the Belconnen District Specification
 - Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
 - Upper floor level (front setbacks) - external wall or unscreened element
 - Upper floor level (side setbacks) - external wall
 - Articulation Elements (Articulation Zone) refer to Belconnen District Specification
- ### INDICATIVE BUILDING FOOTPRINTS
- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

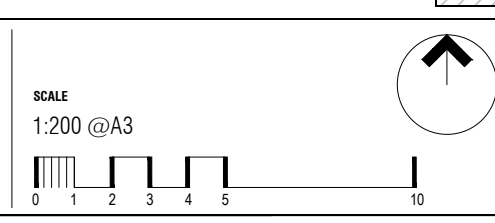
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ax
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	29/04/24
B	DZ	DZ	JM	01/05/24

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Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN

PRO HART AVENUE

FRONT BOUNDARY

SIDE BOUNDARY

MU (6) BLOCK ax
SECTION BA
1325m²

FRONT BOUNDARY

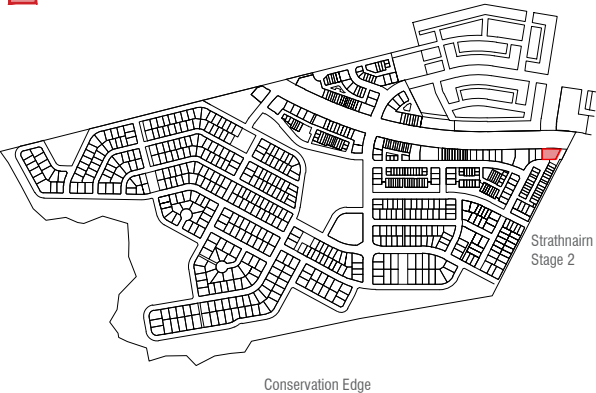
FRONT BOUNDARY

FRONT BOUNDARY

OPEN SPACE

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Construction and Finish**
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

- Mandatory F2, Adjacent to Open Space Fencing** Refer to Belconnen District Specifications
Mandatory height: 1.8m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
 Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

BLOCK INFORMATION

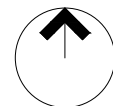
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	ax
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	29/04/24
B	DZ	DZ	JM	01/05/24

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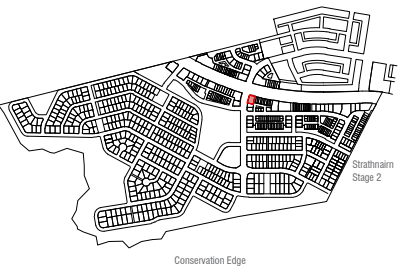
SCALE
1:200 @A3





KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- BOUNDARY**
- Boundary as Defined by Territory Plan
- Potentially Noise Affected Blocks. Refer to the Belconnen District Specification
- Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. Refer to the Belconnen District Specification
- MINIMUM BOUNDARY SETBACKS**
- Residential Zones Technical Specifications front setbacks: refer to Schedule 1 Table 4 side and rear setbacks: refer to Schedule 2 Table 10
- Ground Floor - Unscreened
- Upper Floor - Unscreened

MINIMUM BOUNDARY SETBACKS

- Macnamara Stage 1 EDP refer to the Belconnen District Specification Lower floor level - external wall or unscreened element (Excluding Garages/Carports) Upper floor level (front setbacks) - external wall or unscreened element Upper floor level (side setbacks) - external wall
- All Floor Levels - External Wall (Screened) Refer to the Residential Zones Specification
- Articulation Elements (Articulation Zone) refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

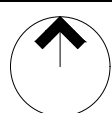
BLOCK INFORMATION

STAGE	1E
ZONE	RZ4
SECTION	BA
BLOCK	C
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (4)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	19/04/24
B	DZ	DZ	JM	01/05/24

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SCALE
1:250 @A4



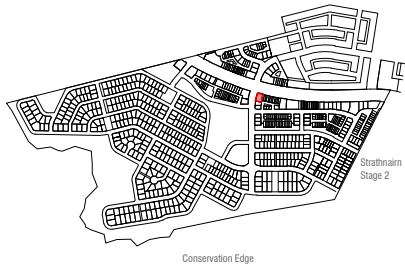
Ginninderry
 BLOCK PLANNING CONTROLS
 BUILDING & SITING CONTROLS PLAN



MU (4) BLOCK c
SECTION BA
815m²

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- BOUNDARY Boundary as Defined by Territory Plan

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification



Return Boundary Fencing to Building Line or Side Fence

BOUNDARY FENCING



Side, Rear and Boundaries Fronting Rear Lane
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)



Mandatory F1, Courtyard Wall Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m



F4, Courtyard Wall Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil

Construction and Finish
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:

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- openings to be a minimum of 10mm.

Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

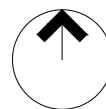
BLOCK INFORMATION

STAGE	1E
ZONE	RZ4
SECTION	BA
BLOCK	C
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (4)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	19/04/24
B	DZ	DZ	JM	01/05/24

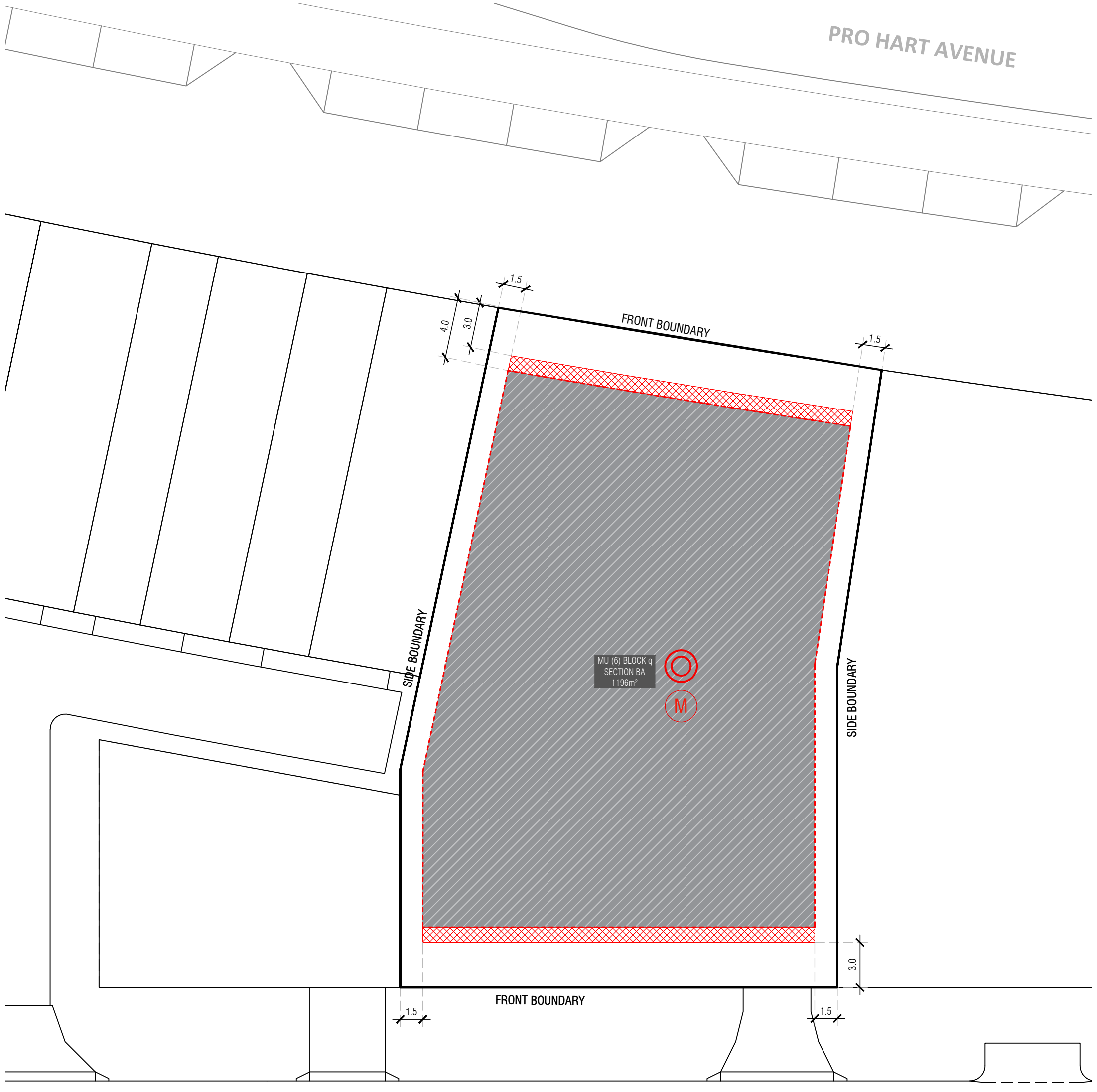
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SCALE
1:250 @A4



Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN

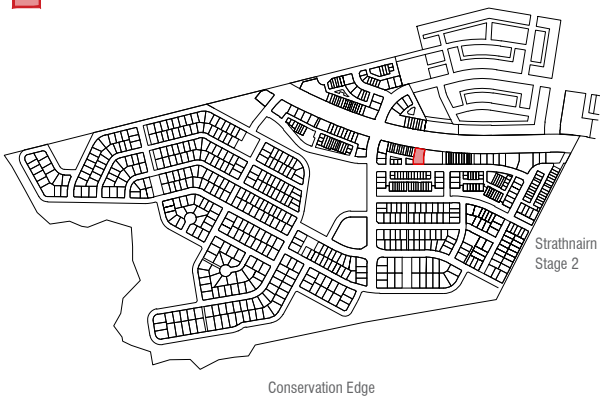
PRO HART AVENUE



STREET

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan
- Potentially Noise Affected Blocks. Refer to the Belconnen District Specification
- Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. Refer to the Belconnen District Specification

MINIMUM BOUNDARY SETBACKS

- Stage 1 EDP refer to the Belconnen District Specification
- Lower floor level - external wall or unscreened element (Excluding Garages/Carports)
- Upper floor level (front setbacks) - external wall or unscreened element
- Upper floor level (side setbacks) - external wall
- Articulation Elements (Articulation Zone) refer to Belconnen District Specification

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks only This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

BLOCK INFORMATION

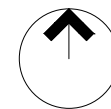
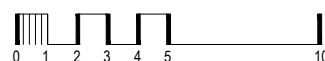
STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	q
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
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SCALE
1:250 @A3



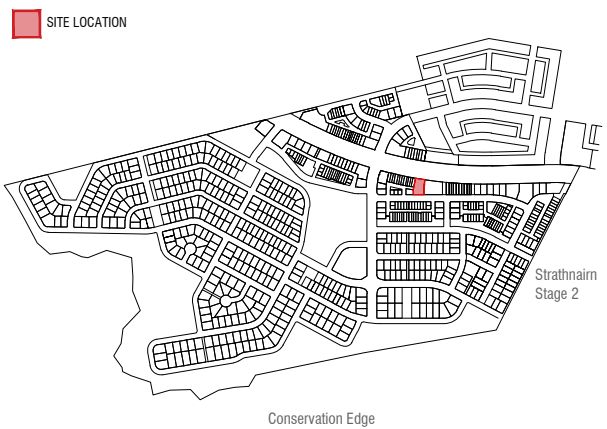
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



MU (6) BLOCK q
SECTION BA
1196m²

STREET

KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil

Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

Construction and Finish
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:

- masonry or stonework;
- dressed hardwood timber; or
- powder-coated aluminium.
- openings to be a minimum of 10mm.

Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

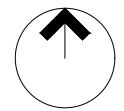
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	q
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (6)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

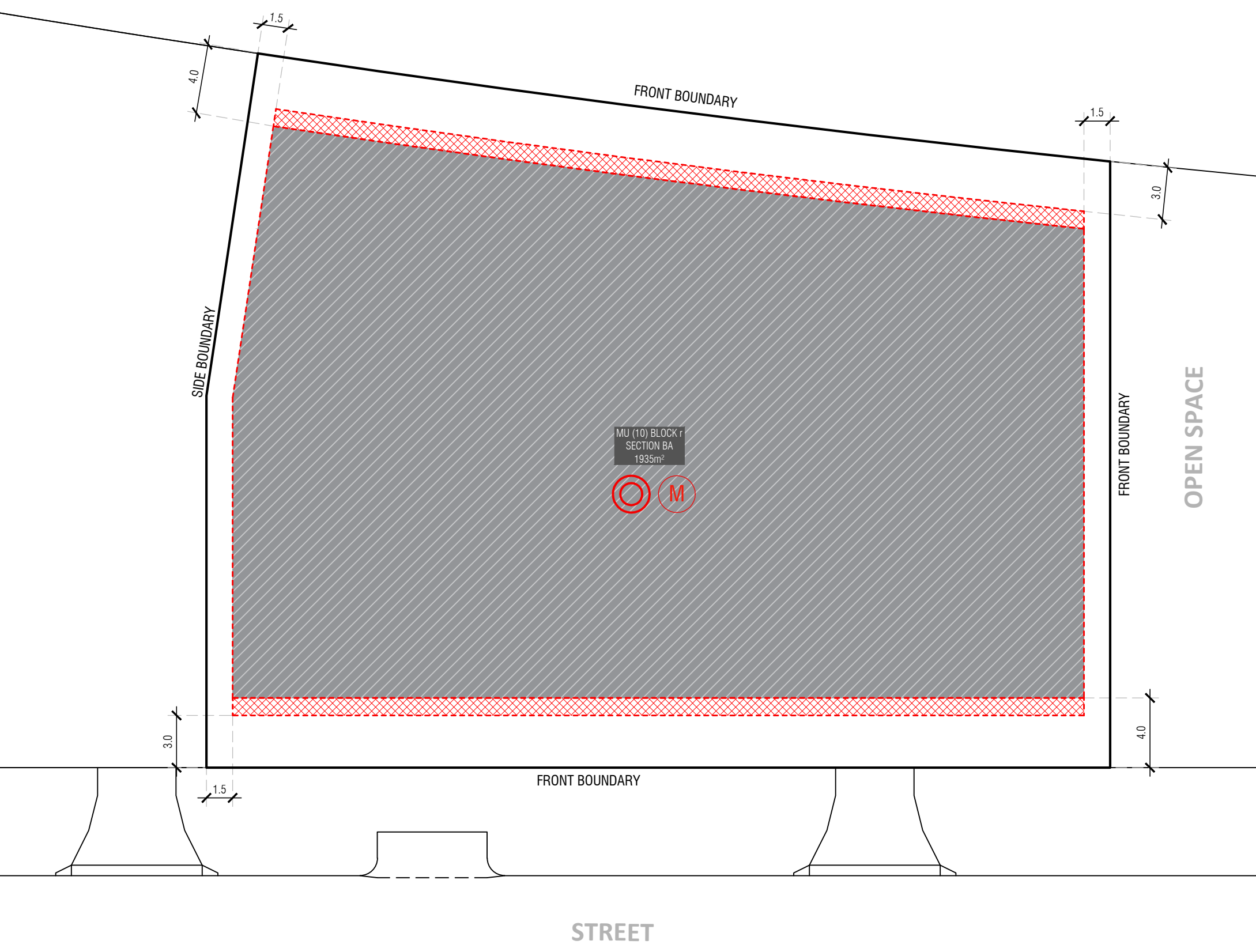
DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.

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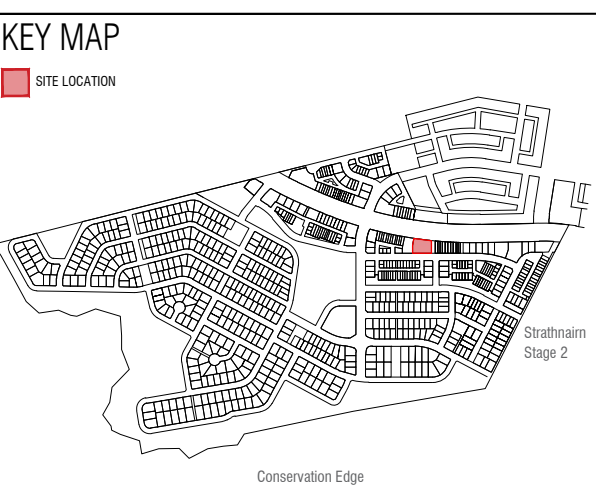


Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN

PRO HART AVENUE



MU (10) BLOCK r
SECTION BA
1935m²



- LEGEND**
- Block Boundary
 - BOUNDARY**
 Boundary as Defined by Territory Plan
 - Potentially Noise Affected Blocks.
Refer to the Belconnen District Specification
 - Blocks Exempt from Water Sensitive Urban Design Provisions. Water quality targets have been fully met downstream. *Refer to the Belconnen District Specification*

- MINIMUM BOUNDARY SETBACKS**
- Stage 1 EDP
refer to the Belconnen District Specification
 - Lower floor level - external wall or unscreened element (Excluding Garages/Carports)*
 - Upper floor level (front setbacks) - external wall or unscreened element*
 - Upper floor level (side setbacks) - external wall*
 - Articulation Elements (Articulation Zone)
refer to Belconnen District Specification
- INDICATIVE BUILDING FOOTPRINTS**
(based on min. building setbacks **only** This does not take into account easements, site coverage or building envelopes)
- Lower Floor Level
 - Upper Floor Levels

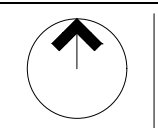
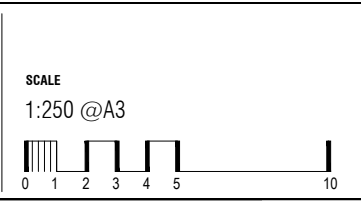
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	r
SITE COVERAGE	<i>Refer to Residential Zones Policy and Belconnen District Specification</i>
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

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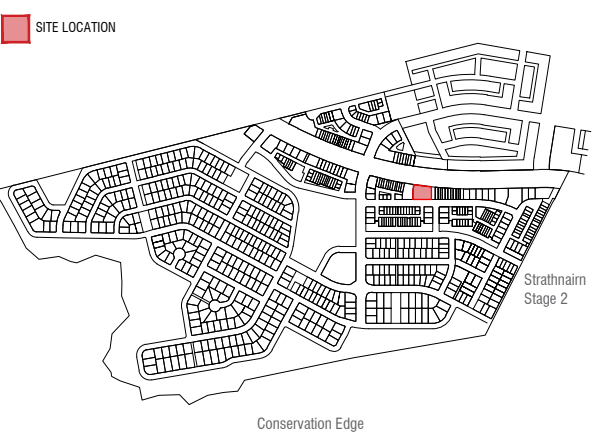
Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN

PRO HART AVENUE



KEY MAP



LEGEND

- Block Boundary
- Boundary as Defined by Territory Plan

BOUNDARY FENCING

- Side, Rear and Boundaries Fronting Rear Lane**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
- Construction and Finish**
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Design Requirements (Macnamara)

- Mandatory F2, Adjacent to Open Space Fencing** Refer to Belconnen District Specifications
Mandatory height: 1.8m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Mandatory F1, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 100% (full length of boundary)
Minimum setback from boundary: 800m
- F4, Courtyard Wall** Refer to Belconnen District Specifications
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Belconnen District Specifications & Residential Zones Specifications (whichever is applicable).
Courtyard wall must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - openings to be a minimum of 10mm.
 Refer to Fencing Control Plan and Ginninderry Design Requirements (Macnamara)

PRINCIPLE PRIVATE OPEN SPACE
Refer to Belconnen District Specification and Residential Zones Specification

Return Boundary Fencing to Building Line or Side Fence

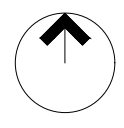
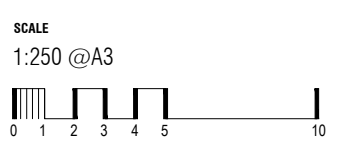
BLOCK INFORMATION

STAGE	1E
ZONE	RZ3
SECTION	BA
BLOCK	r
SITE COVERAGE	Refer to Residential Zones Policy and Belconnen District Specification
HOUSING TYPE	MULTI UNIT SITE (10)

REV	DRAWN	CHECKED	APPROVED	DATE
A	DZ	DZ	JM	24/04/24
B	DZ	DZ	JM	01/05/24

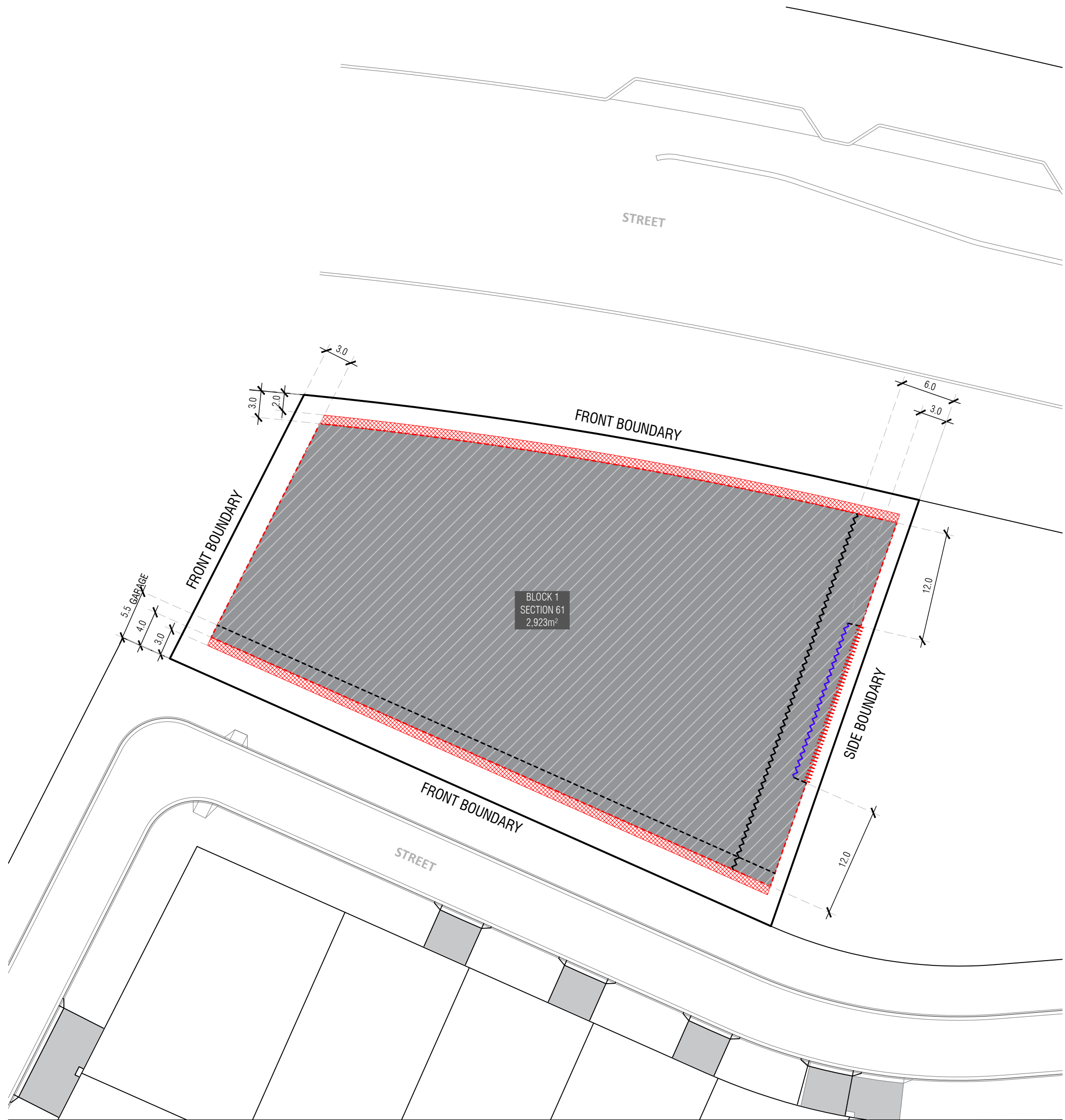
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Ginninderry

BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Boundary Defined by Territory Plan 2023

INDICATIVE BUILDING FOOTPRINTS
(based on min. building setbacks **only** This does not take into account easements, plot ratio or building envelopes)

- Lower Floor Level
- Upper Floor Levels

MINIMUM BOUNDARY SETBACKS

- Residential Zones Technical Specifications
front setbacks: refer to Schedule 1 Table 4
side and rear setbacks: refer to Schedule 2 Table 10
- Ground Floor - Unscreened
- Upper Floor - Unscreened

- Strathnairn Stage 2 EDP
refer to the Belconnen District Specification
Lower floor level - external wall or unscreened element
(Excluding Garages/Carports)
Upper floor level (front setbacks) - external wall or unscreened element
Upper floor level (side setbacks) - external wall
- All Floor Levels - External Wall (Screened)
refer to the Belconnen District Specification
- Articulation Elements (Articulation Zone)
refer to Belconnen District Specification

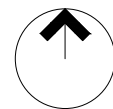
BLOCK INFORMATION

STAGE	2B3
ZONE	RZ 3
SECTION	61
BLOCK	1
PLOT RATIO	65%
HOUSING TYPE	MULTI UNIT SITE (15)

REV	DRAWN	CHECKED	APPROVED	DATE
B	DZ	DZ	DZ	02/02/24

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SCALE
1:400 @A3



Ginninderry
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



<p>LEGEND</p> <p> Block Boundary</p> <p>SITE COVERAGE refer to Residential Zone Policy</p> <p>PRINCIPLE PRIVATE OPEN SPACE refer to Belconnen District Specification and Residential Zones Specification</p>	<p>BOUNDARY FENCING</p> <p> Side, Rear and Rear Lane Boundaries Maximum height 1.8m Minimum setback 0m (100%) Not forward of building line refer to EPSDD: Fences and Freestanding Walls Factsheet 2014</p> <p>Construction and Finish Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt". refer to Ginninderry Design Requirements</p> <p> Optional - Blocks Adjacent to Open Space Maximum height 1.8m Minimum setback 0m (100%) refer to Fencing Controls Plan</p>	<p> Mandatory Central Boulevard, Courtyard Walls and Fencing Maximum height: PPOS screen 1.5m otherwise 1.2m Minimum setback: 50% @ 0m 50% @ 1.0m refer to Fencing Controls Plan</p> <p>Construction and Finish Front Courtyard walls and fencing forward of the building line (where permitted) must be a combination of solid and semi-transparent elements that are constructed of the following:</p> <ul style="list-style-type: none"> · masonry or stonework; · dressed hardwood timber; or · powder-coated aluminium. · Openings to be a minimum of 10mm. <p>refer to Fencing Control Plan and Ginninderry Design Requirements</p> <p> Return Boundary Fencing to Building Line or Side Fence</p>
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BLOCK INFORMATION

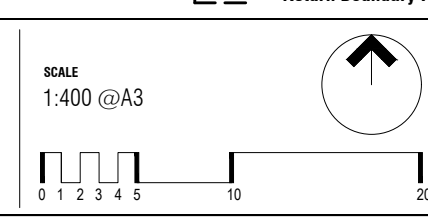
STAGE	2B3
ZONE	RZ 3
SECTION	61
BLOCK	1
PLOT RATIO	65%
HOUSING TYPE	MULTI UNIT SITE (15)

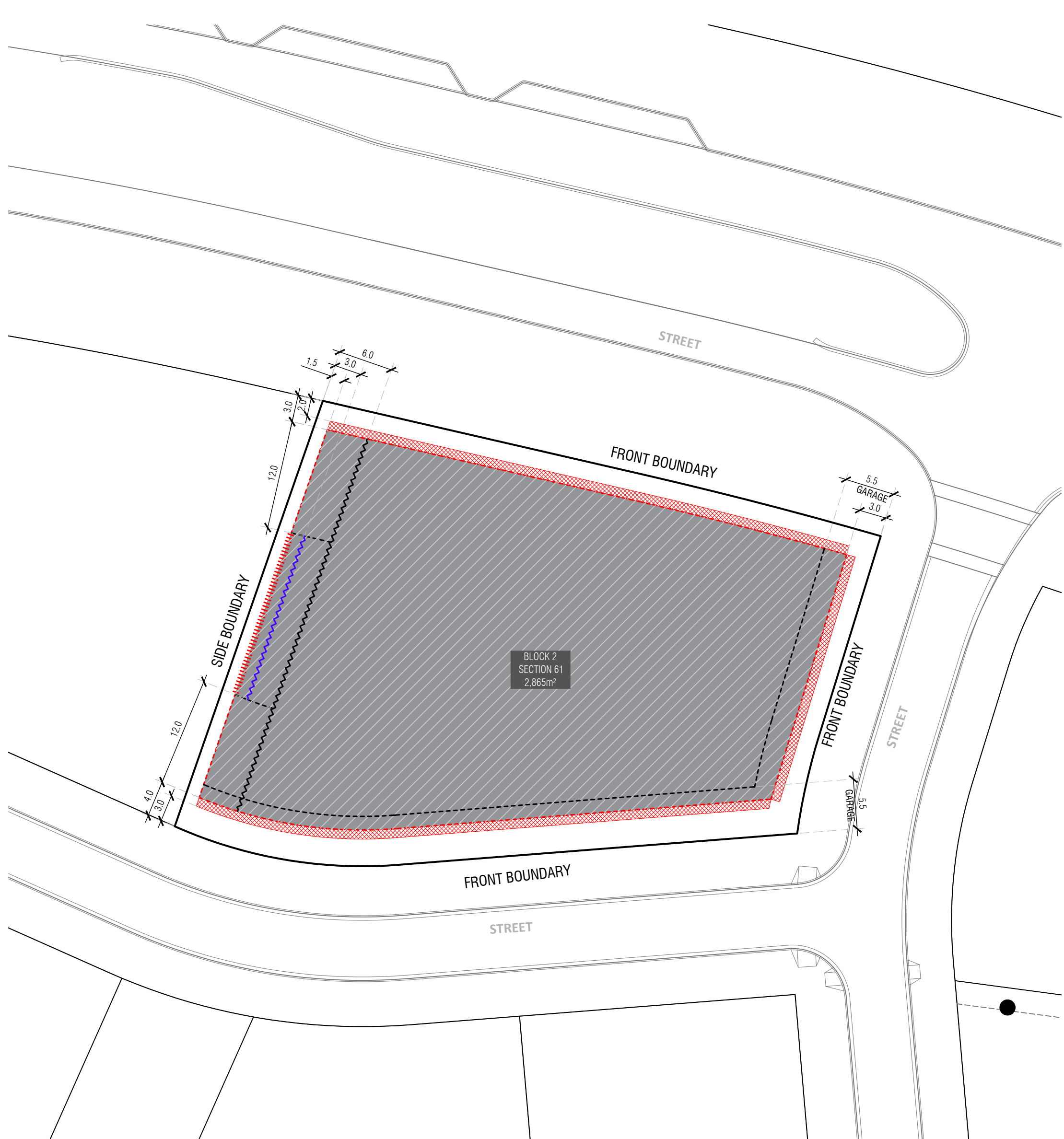
REV B DRAWN DZ CHECKED DZ APPROVED DZ DATE 07/02/24

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Services
Refer to Block Disclosure Plan for location of service access to this block. Proposed Fencing and Courtyard Walls to integrate service ties and meters.





KEY MAP



LEGEND

- Block Boundary
- BOUNDARY Boundary Defined by Territory Plan 2023

INDICATIVE BUILDING FOOTPRINTS
(based on min. building setbacks **only** This does not take into account easements, plot ratio or building envelopes)

- Lower Floor Level
- Upper Floor Levels

MINIMUM BOUNDARY SETBACKS

- Residential Zones Technical Specifications
*front setbacks: refer to Schedule 1 Table 4
side and rear setbacks: refer to Schedule 2 Table 10*
- Ground Floor - Unscreened
- Upper Floor - Unscreened

- Strathnairn Stage 2 EDP
*refer to the Belconnen District Specification
Lower floor level - external wall or unscreened element
(Excluding Garages/Carports)
Upper floor level (front setbacks) - external wall or
unscreened element
Upper floor level (side setbacks) - external wall*
- All Floor Levels - External Wall (Screened)
refer to the Belconnen District Specification
- Articulation Elements (Articulation Zone)
refer to Belconnen District Specification

BLOCK INFORMATION

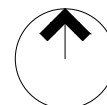
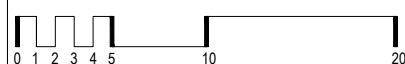
STAGE	2B3
ZONE	RZ 3
SECTION	61
BLOCK	2
PLOT RATIO	65%
HOUSING TYPE	MULTI UNIT SITE (13)

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	DZ	02/02/24

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SCALE
1:400 @A3



Ginninderry

**BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN**



LEGEND

Block Boundary

SITE COVERAGE
refer to Residential Zone Policy

PRINCIPLE PRIVATE OPEN SPACE
refer to Belconnen District Specification and Residential Zones Specification

BOUNDARY FENCING

Side, Rear and Rear Lane Boundaries
Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line**
refer to EPSDD: Fences and Freestanding Walls Factsheet 2014

Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing.
If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt". refer to Ginninderry Design Requirements

Corner Identified for Corner Block Control
refer to Fencing Controls Plan

Optional - Corner Blocks
Maximum height 1.5m | Minimum setback 0m (50%) and 0.8m (50%)
No fencing within 6m of the corner
refer to Fencing Controls Plan

Mandatory Central Boulevard, Courtyard Walls and Fencing
Maximum height: PPOS screen 1.5m | otherwise 1.2m
Minimum setback: 50% @ 0m | 50% @ 1.0m
refer to Fencing Controls Plan

Construction and Finish
Front Courtyard walls and fencing forward of the building line (where permitted) must be a combination of solid and semi-transparent elements that are constructed of the following:

- masonry or stonework;
- dressed hardwood timber; or
- powder-coated aluminium.
- Openings to be a minimum of 10mm.

refer to Fencing Control Plan and Ginninderry Design Requirements

Return Boundary Fencing to Building Line or Side Fence

BLOCK INFORMATION

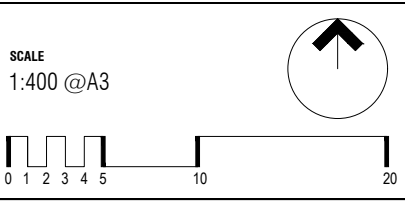
STAGE	2B3
ZONE	RZ 3
SECTION	61
BLOCK	2
PLOT RATIO	65%
HOUSING TYPE	MULTI UNIT SITE (13)

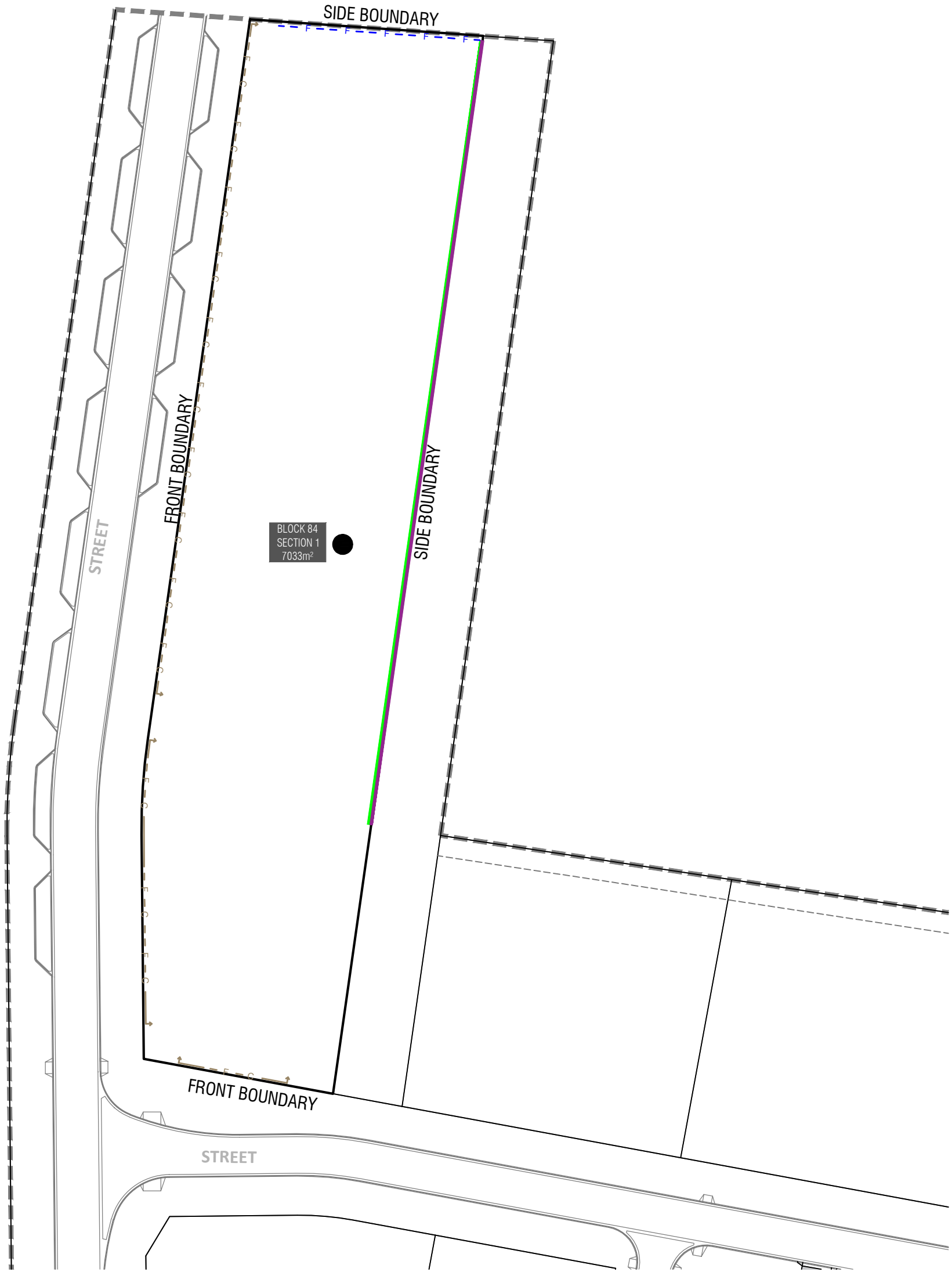
REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	DZ	02/02/24

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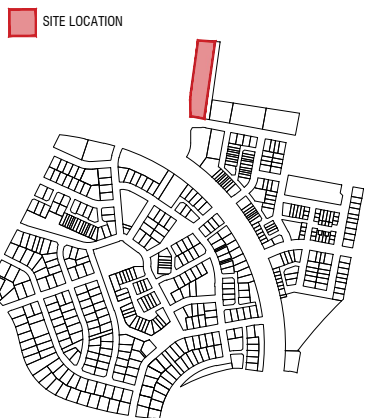
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Services
Refer to Block Disclosure Plan for location of service access to this block. Proposed Fencing and Courtyard Walls to integrate service ties and meters.










KEY MAP




LEGEND

-  Block Boundary
- SITE COVERAGE**
refer to Residential Zone Policy
- PRINCIPLE PRIVATE OPEN SPACE**
refer to Belconnen District Specifications and Residential Zones Specifications
-  Principal Private Open Space and Daytime Living Area for the identified block to be oriented toward the western alignment by Planning Controls Plan

BOUNDARY FENCING

-  **Side, Rear and Rear Lane Boundaries**
Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line**
refer to EPSDD: Fences and Freestanding Walls Factsheet 2014
- Construction and Finish**
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing.
If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt". refer to Ginninderry Design Requirements
-  Landscape screening treatment of a 4.5m mesh fence accompanying rear located 1.8m solid timber fence - by Ginninderry in accordance with Belconnen District Specification
-  A 3.0m minimum planting zone for evergreen climbing must be established along the length of the landscape screening fence - by Purchaser in accordance with Belconnen District Specifications

-  **Mandatory Village/Green Link, Courtyard Walls and Fencing**
Maximum height: PPOS screen 1.5m | otherwise 1.2m
Minimum setback: 100% @ 0m
refer to Fencing Controls Plan
- Construction and Finish**
Front Courtyard walls and fencing forward of the building line (where permitted) must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
 - Openings to be a minimum of 10mm.
 refer to Fencing Control Plan and Ginninderry Design Requirements

 Return Boundary Fencing to Building Line or Side Fence

BLOCK INFORMATION

STAGE	2B3
ZONE	RZ 5
SECTION	84
BLOCK	1
PLOT RATIO	N/A
HOUSING TYPE	MULTI UNIT SITE (70)

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	DZ	02/02/24

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SCALE
1:750 @A3

