

KEY MAP

SITE LOCATION

LEGEND

- Block Boundary
- Garage Location
- BOUNDARY**
Nominated Boundary by SPC
Refer to Figure 11
- BOUNDARY**
Boundary Defined by SDHDC
- Part of Integrated Development Parcel by SPC
Refer to Figure 11
- INDICATIVE BUILDING FOOTPRINTS**
(based on min. building setbacks only)
- Lower Floor Level
- Upper Floor Level

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
front setbacks: refer to Rule 11, Table 3C
side and rear setbacks: refer to Rule 12, Table 6B
- Upper Floor Level Side Boundary - Screened
- Upper Floor Level Side Boundary - Unscreened
- Articulation Elements (Articulation Zone)
refer to SDHDC Rule 11, Table 3C
- 1.5m or nil setback to a max length of 13m
refer to SDHDC Rule 15, Table 6B

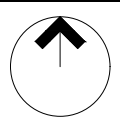
BLOCK INFORMATION

STAGE	1A
ZONE	RZ3
SECTION	13
BLOCK	8
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

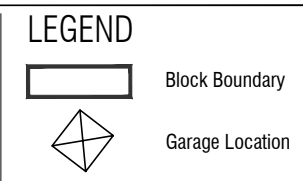
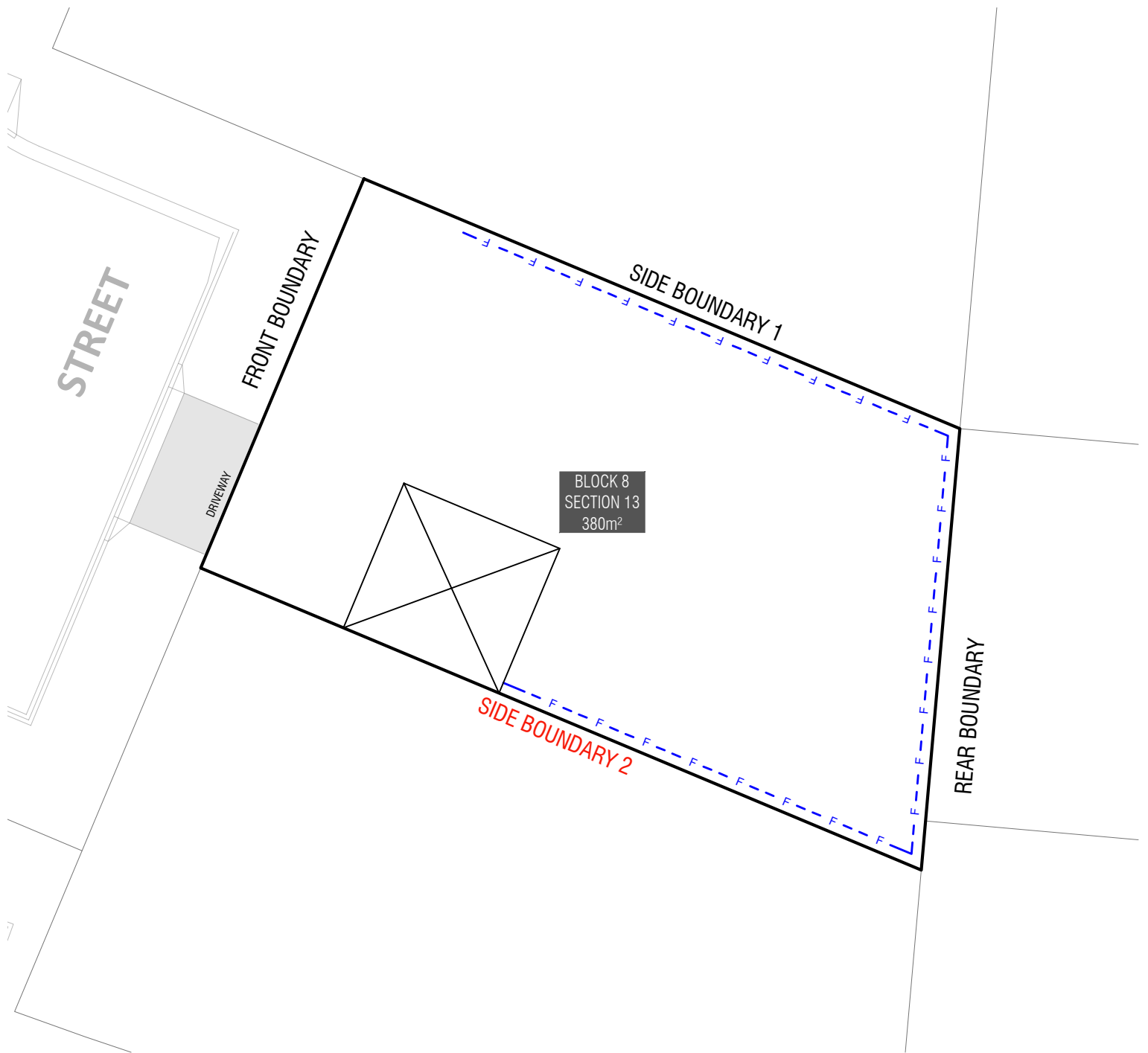
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A	JE	AK	CS	10/10/19

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

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Ginninderry
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



BOUNDARY FENCING

Side, Rear and Rear Lane Boundaries
 Maximum height 1.8m | Minimum setback 0m (100%) | Not forward of building line
 refer to EPSDD: Fences and Freestanding Walls Factsheet 2014

PRIVATE OPEN SPACE (POS)
 refer to SDHDC:
 R39 for mid size blocks

PRINCIPLE PRIVATE OPEN SPACE (PPOS)
 refer to SDHDC R41 and Table 8

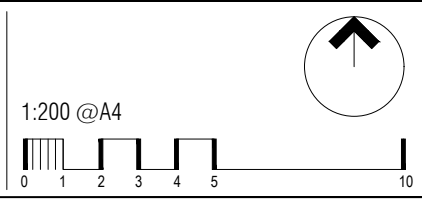
BLOCK INFORMATION

STAGE	1A
ZONE	RZ3
SECTION	13
BLOCK	8
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	JE	AK	CS	10/10/19

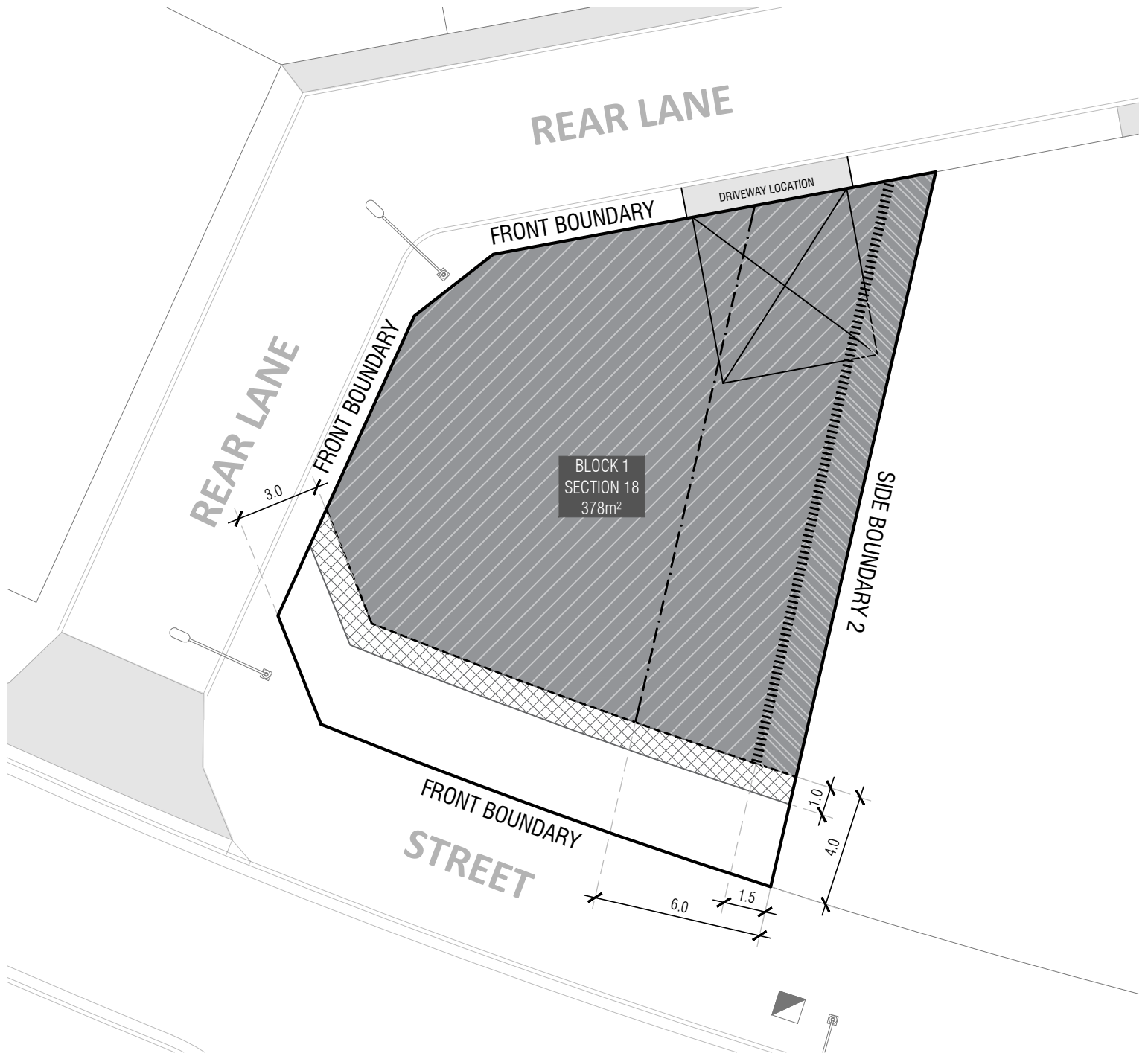
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BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP
SITE LOCATION

LEGEND

- Block Boundary
- Garage Location
- BOUNDARY** Boundary Defined by SDHDC
- INDICATIVE BUILDING FOOTPRINTS**
(based on min. building setbacks only)
- Lower Floor Level
- Upper Floor Level

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11, Table 3C side and rear setbacks: refer to Rule 12, Table 6B
- Upper Floor Level - Screened
- Upper Floor Level - Unscreened
- Articulation Elements (Articulation Zone) refer to SDHDC Rule 11, Table 3C
- 1.5m or nil setback to a max length of 13m not more than 2.5m into rear zone: refer to SDHDC Rule 12, Rule 15, Table 6B

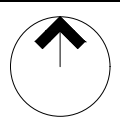
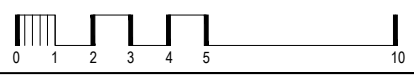
BLOCK INFORMATION

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ZONE	RZ3
SECTION	18
BLOCK	01
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

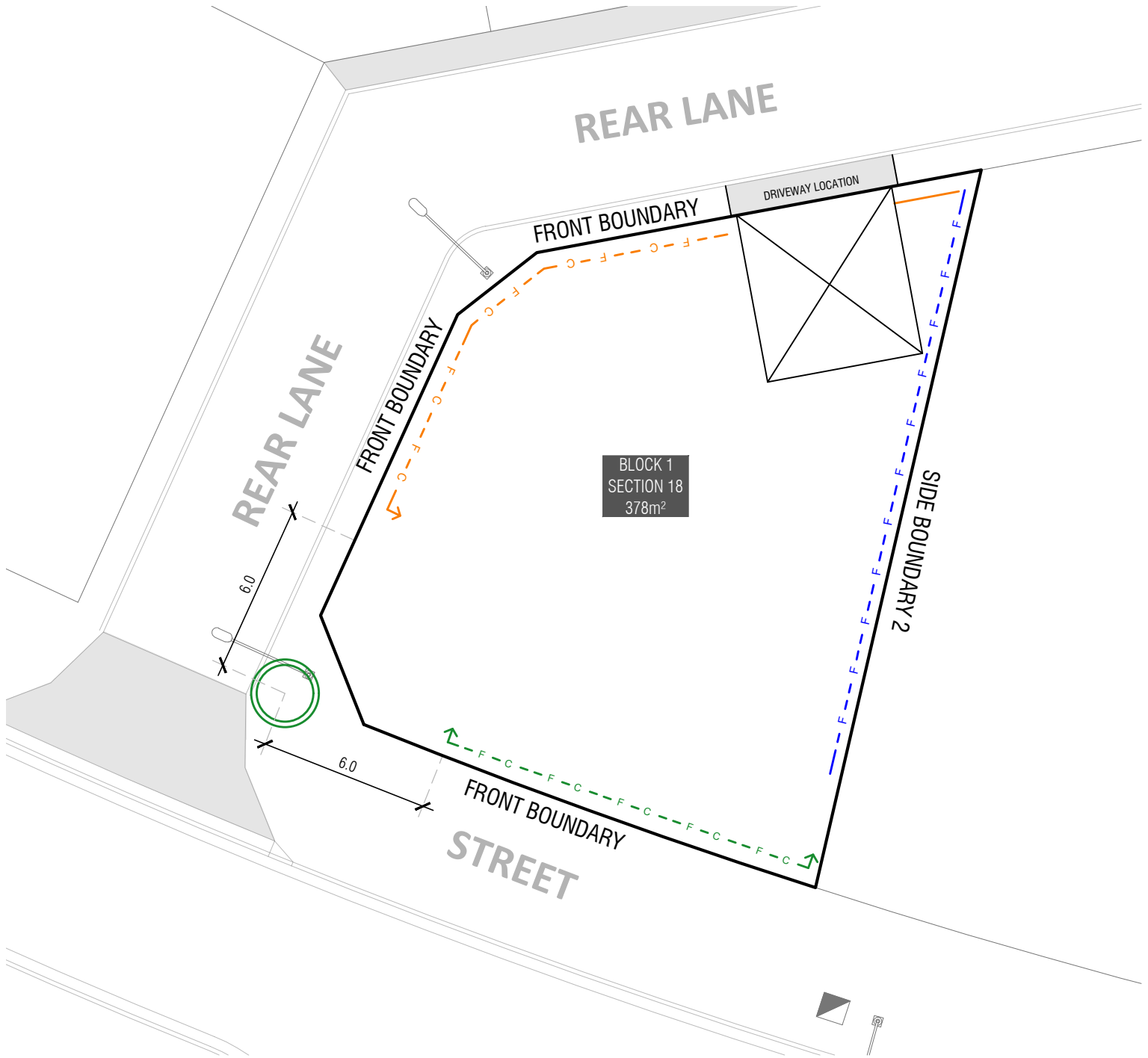
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A	JE	BR	CS	11/09/19

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SCALE
1:200 @A4





Ginninderry
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP

■ SITE LOCATION

LEGEND

-  Block Boundary
-  Garage Location






PRIVATE OPEN SPACE (POS)

refer to SDHDC:
R38 for large blocks,
R39 for mid size blocks,
R40 for compact blocks

PRINCIPLE PRIVATE OPEN SPACE (PPOS)

refer to SDHDC R41 and Table 8

BOUNDARY FENCING

-  **Side, Rear and Rear Lane Boundaries**
Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line**
refer to EPSDD: Fences and Freestanding Walls Factsheet 2014
-  **Front Fencing, Courtyard Walls and Laneways**
Maximum height 1.8m | Minimum setback 0m (100%)
refer to SPC Rule 8, Table 1, Figure 2
-  **Corner Identified for Corner Block Control**
refer to SPC Table 1, Figure 1
-  **Corner Blocks**
Maximum height 1.5m | Minimum setback 0m (50%) and 0.6m (50%)
No fencing within 6m of the corner
refer to SPC Rule 8, Table 1, Figure 1
-  **Return Boundary Fencing to Building Line or Side Fence**

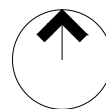
BLOCK INFORMATION

STAGE	1A
ZONE	RZ3
SECTION	18
BLOCK	01
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

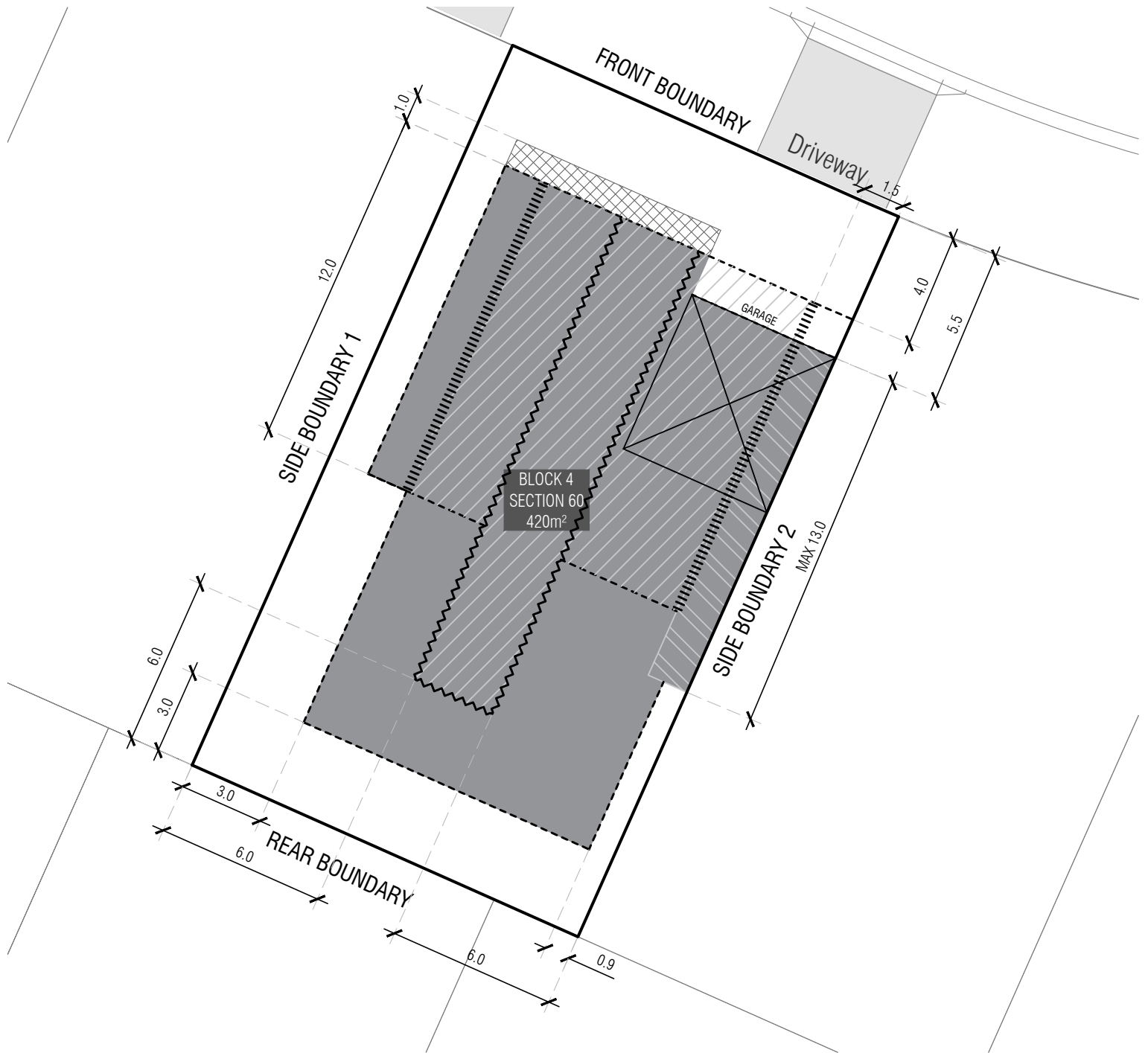
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A	JE	BR	CS	11/09/19

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SCALE
1:200 @A4



**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY Boundary Defined by SDHDC

INDICATIVE BUILDING FOOTPRINTS

(based on min. building setbacks **only** This does not take into account easements or building envelopes)

- Lower Floor Level
- Upper Floor Level

Articulation Elements (Articulation Zone)
refer to SDHDC Rule 11: Table 3C for mid blocks

MINIMUM BOUNDARY SETBACKS

Single Dwelling Housing Development Code (SDHDC)
front setbacks: refer to Rule 11:
Table 3C for mid blocks
side and rear setbacks: refer to Rule 12:
Table 6B for mid blocks

1.5m or nil setback to a max length of 13m
refer to SDHDC Rule 15, Table 6B

- Upper Floor Level - Side and Rear Boundary - Screened
- Upper Floor Level - Side and Rear Boundary Unscreened

BLOCK INFORMATION

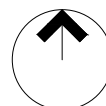
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ZONE	RZ3
SECTION	60
BLOCK	4
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	AK	AK	CS	25/10/19
B	AK	AK	CS	01/10/20

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SCALE
1:200 @A4



BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location

PRIVATE OPEN SPACE (POS)

refer to SDHDC:
R39 for mid size blocks

PRINCIPLE PRIVATE OPEN SPACE (PPOS)

refer to SDHDC R41 and Table 8

Services

Refer to Block Disclosure Plan for location of service access to this block. Proposed Fencing and Courtyard Walls to integrate service ties and meters.

BOUNDARY FENCING



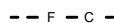
Side, Rear and Rear Lane Boundaries

Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line** refer to EPSDD: Fences and Freestanding Walls Factsheet 2014

Construction and Finish

Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing.

If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt". refer to Ginninderry Design Requirements



North Facing Blocks

Maximum height 1.5m | Minimum setback 0m (50%) and 0.8m (50%) refer to Fencing Controls Plan



Return Boundary Fencing to Building Line or Side Fence

BLOCK INFORMATION

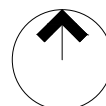
STAGE	2A3
ZONE	RZ 3
SECTION	60
BLOCK	4
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	AK	AK	CS	25/10/19
B	AK	AK	CS	01/10/20

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SCALE
1:200 @A4



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BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY Boundary Defined by SDHDC
- INDICATIVE BUILDING FOOTPRINTS**
(based on min. building setbacks **only** This does not take into account easements or building envelopes)
- Lower Floor Level
- Upper Floor Level

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
front setbacks: refer to Rule 11: Table 3C for mid blocks
side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
- Articulation Elements (Articulation Zone)
refer to SDHDC Rule 11: Table 3C for mid blocks
- 1.5m or nil setback to a max length of 13m
refer to SDHDC Rule 15, Table 6B
- Upper Floor Level - Side and Rear Boundary - Screened
- Upper Floor Level - Side and Rear Boundary Unscreened

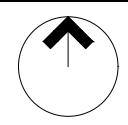
BLOCK INFORMATION

STAGE	2A3
ZONE	RZ 3
SECTION	60
BLOCK	14
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	JS	AK	CS	13/06/20

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BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN

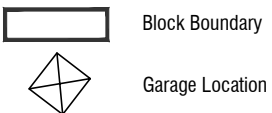


BLOCK 14
SECTION 60
420m²

KEY MAP



LEGEND



PRIVATE OPEN SPACE (POS)
refer to SDHDC:
R39 for mid size blocks

PRINCIPLE PRIVATE OPEN SPACE (PPOS)
refer to SDHDC R41 and Table 8

Services
Refer to Block Disclosure Plan for location of service access to this block. Proposed Fencing and Courtyard Walls to integrate service ties and meters.

BOUNDARY FENCING

Side, Rear and Rear Lane Boundaries
Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line**
refer to EPSDD: Fences and Freestanding Walls Factsheet 2014

Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing.
If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt". refer to Ginninderry Design Requirements

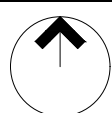
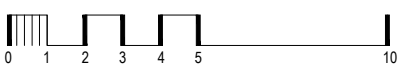
BLOCK INFORMATION

STAGE	2A3
ZONE	RZ 3
SECTION	60
BLOCK	14
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	JS	AK	CS	13/06/20

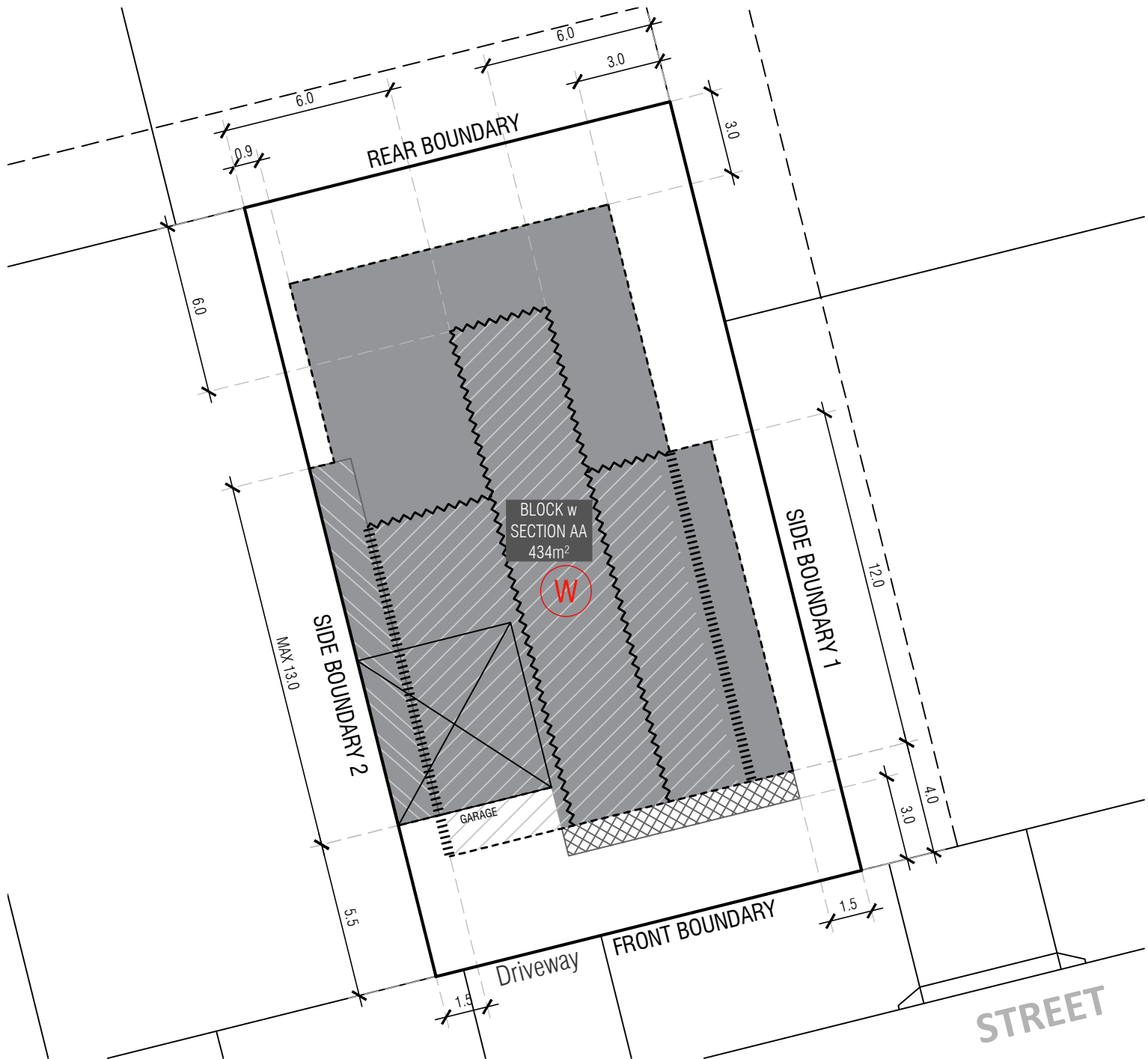
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SCALE
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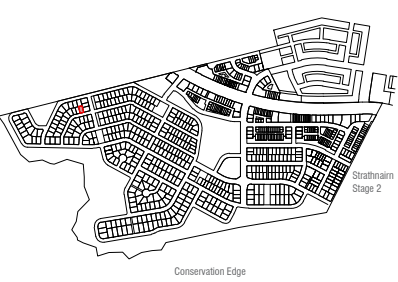
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BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN

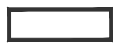





KEY MAP

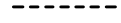


■ SITE LOCATION



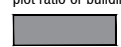
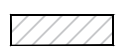


LEGEND

-  Block Boundary
 -  Garage Location
 -  Boundary Defined by SDHDC
 -  Water tank requirements
- | BLOCK SIZE (M ²) | MANDATORY MINIMUM TANK SIZE (L) |
|------------------------------|---------------------------------|
| 251 ≤ 350 | 2,000 |
| 351 ≤ 599 | 4,000 |
| 600 ≤ 800 | 8,000 |
| > 801 | 10,000 |

MINIMUM BOUNDARY SETBACKS

-  Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11: Table 3C for mid blocks side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
-  1.5m or nil setback for garage for mid size blocks refer to SDHDC Rule 15, Table 6B
-  Articulation Elements (Articulation Zone) refer to SDHDC Rule 11: Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
-  Lower Floor Level
 -  Upper Floor Level
 -  Upper Floor Level - Side and Rear Boundary - Screened
 -  Upper Floor Level - Side and Rear Boundary - Unscreened

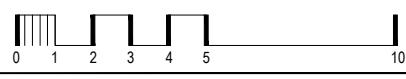
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AA
BLOCK	w
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

REV C DZ DZ CS DATE 01/05/23

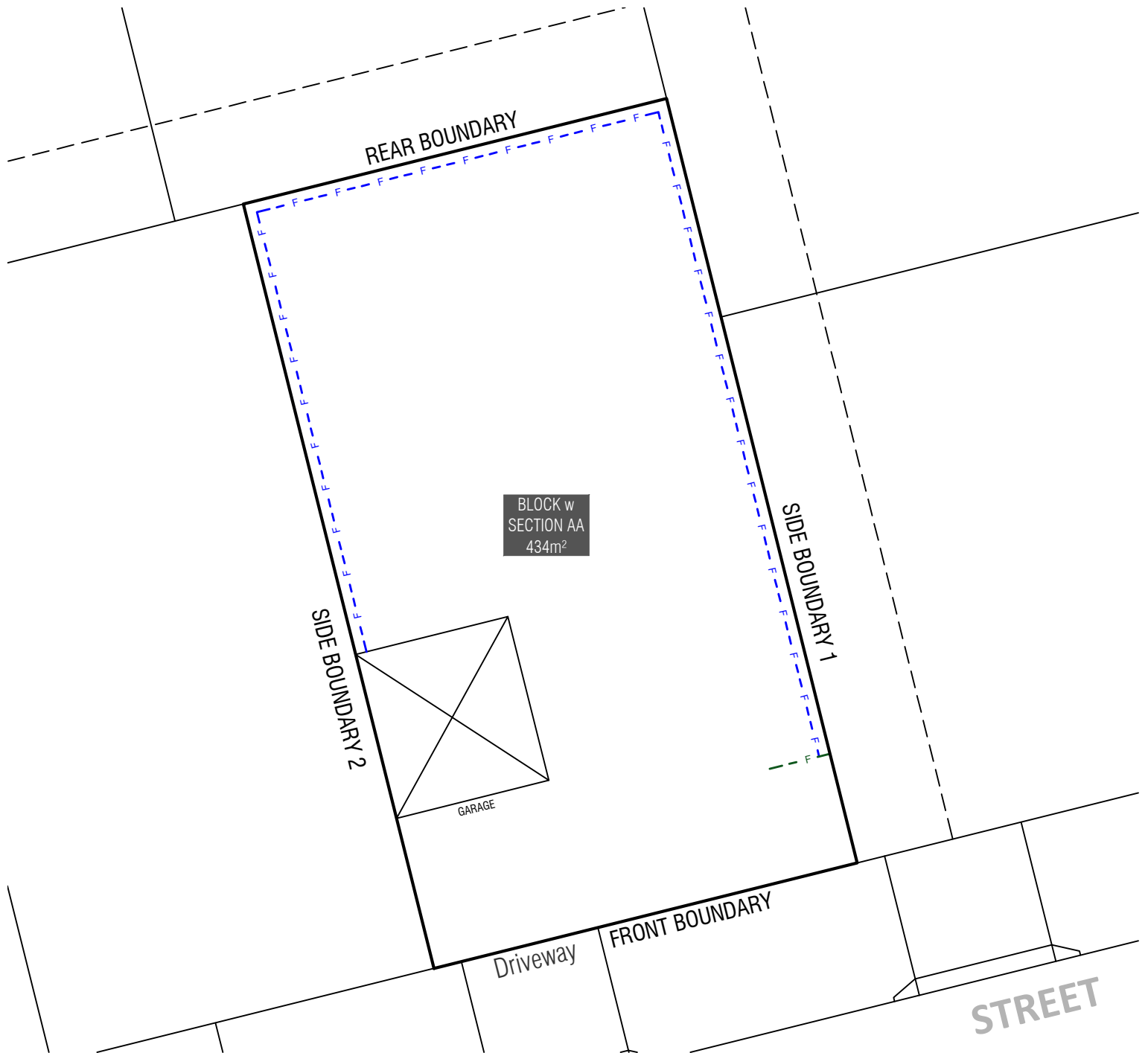
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SCALE 1:200 @A4



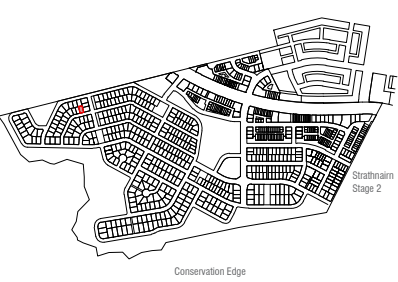
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BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN






KEY MAP



■ SITE LOCATION



LEGEND

-  Block Boundary
-  Garage Location
-  Boundary Defined by SDHDC

BOUNDARY FENCING

-  **Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)

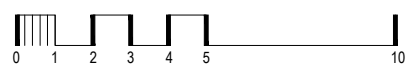
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AA
BLOCK	w
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

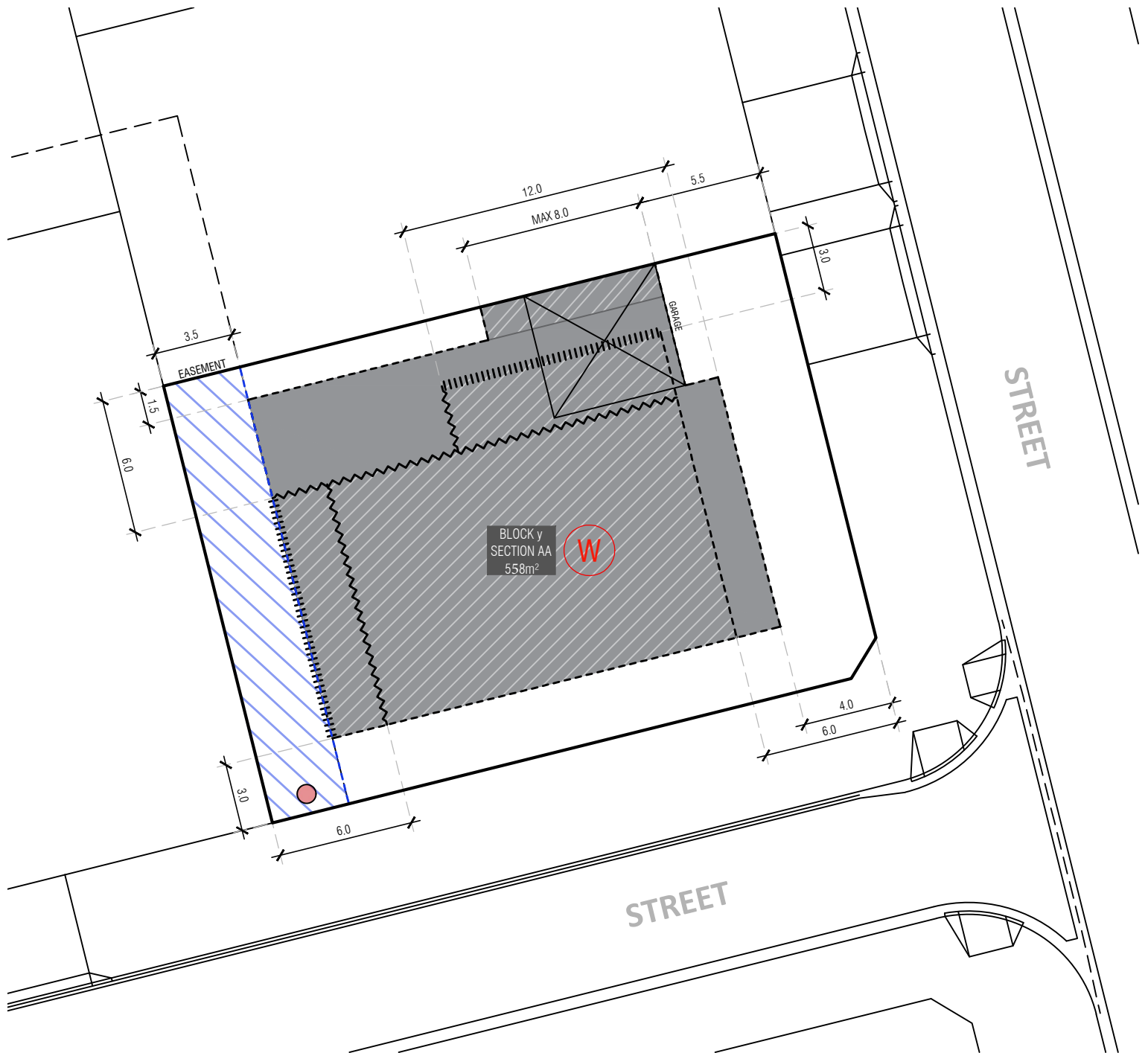
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C	DZ	DZ	CS	01/05/22

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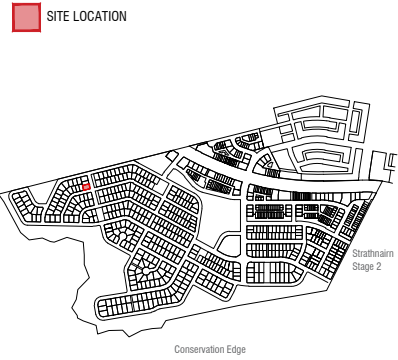
SCALE
1:200 @A4




BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required *Refer Block Details Plan and ICON building requirements*
- Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
front setbacks: refer to Rule 11: Table 2C for large blocks
side and rear setbacks: refer to Rule 12: Table 5 for large blocks
- Nil or 900mm garage setback for walls maximum 8m in length
refer to SDHDC Rule 14, Table 5

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

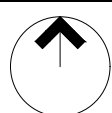
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AA
BLOCK	y
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

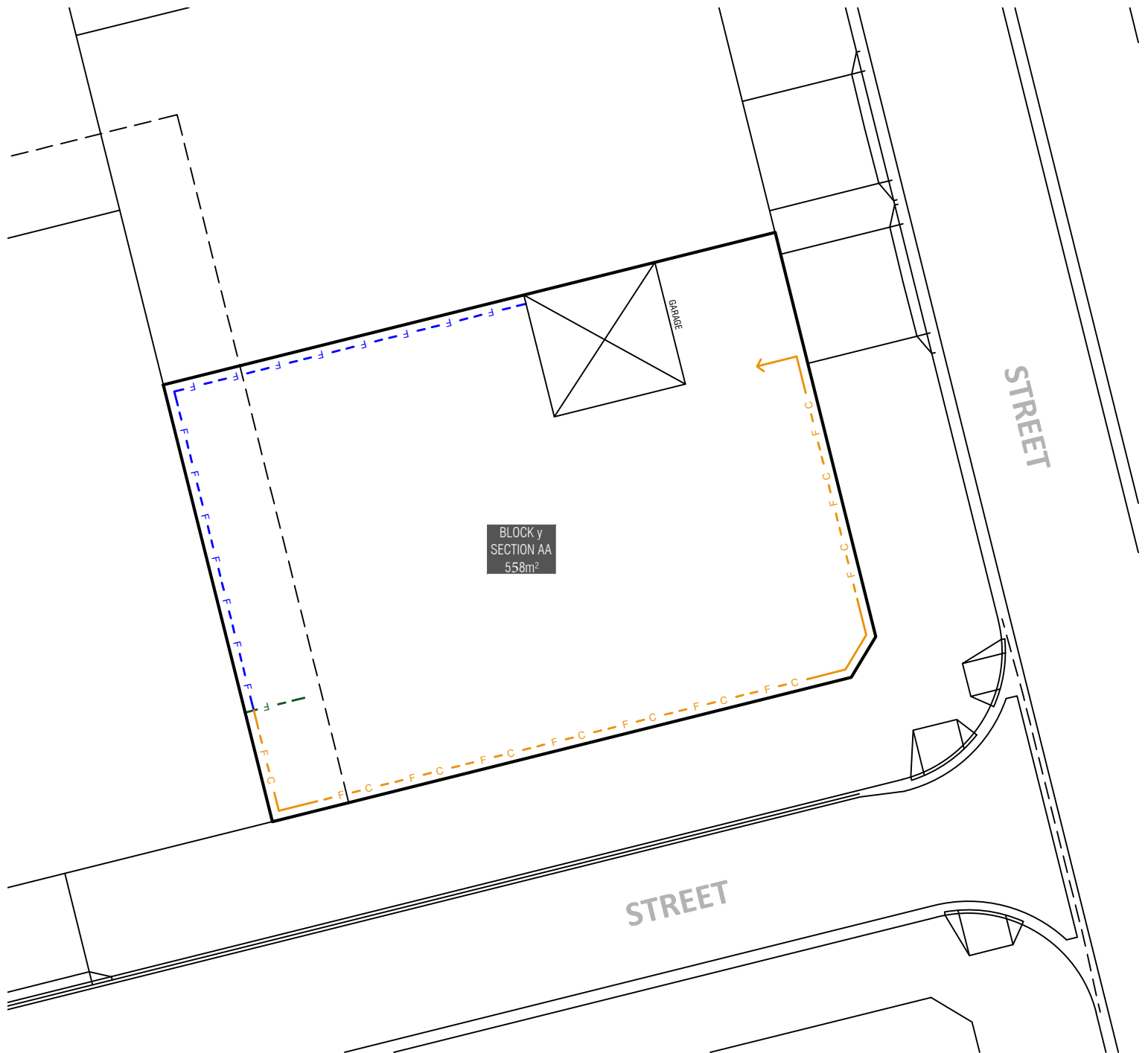
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C	DZ	DZ	CS	02/05/23

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SCALE
1:250 @A4

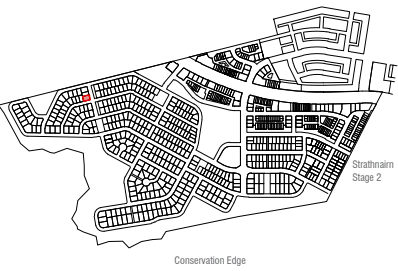


Ginninderry
 BLOCK PLANNING CONTROLS
 BUILDING & SITING CONTROLS PLAN






KEY MAP



■ SITE LOCATION



LEGEND

-  Block Boundary
-  Garage Location
-  BOUNDARY Boundary Defined by SDHDC

BOUNDARY FENCING

-  **Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **F5, Courtyard Wall** Refer to EDP Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)

 Return Boundary Fencing to Building Line or Side Fence

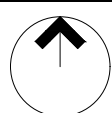
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AA
BLOCK	y
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	CS	02/05/23

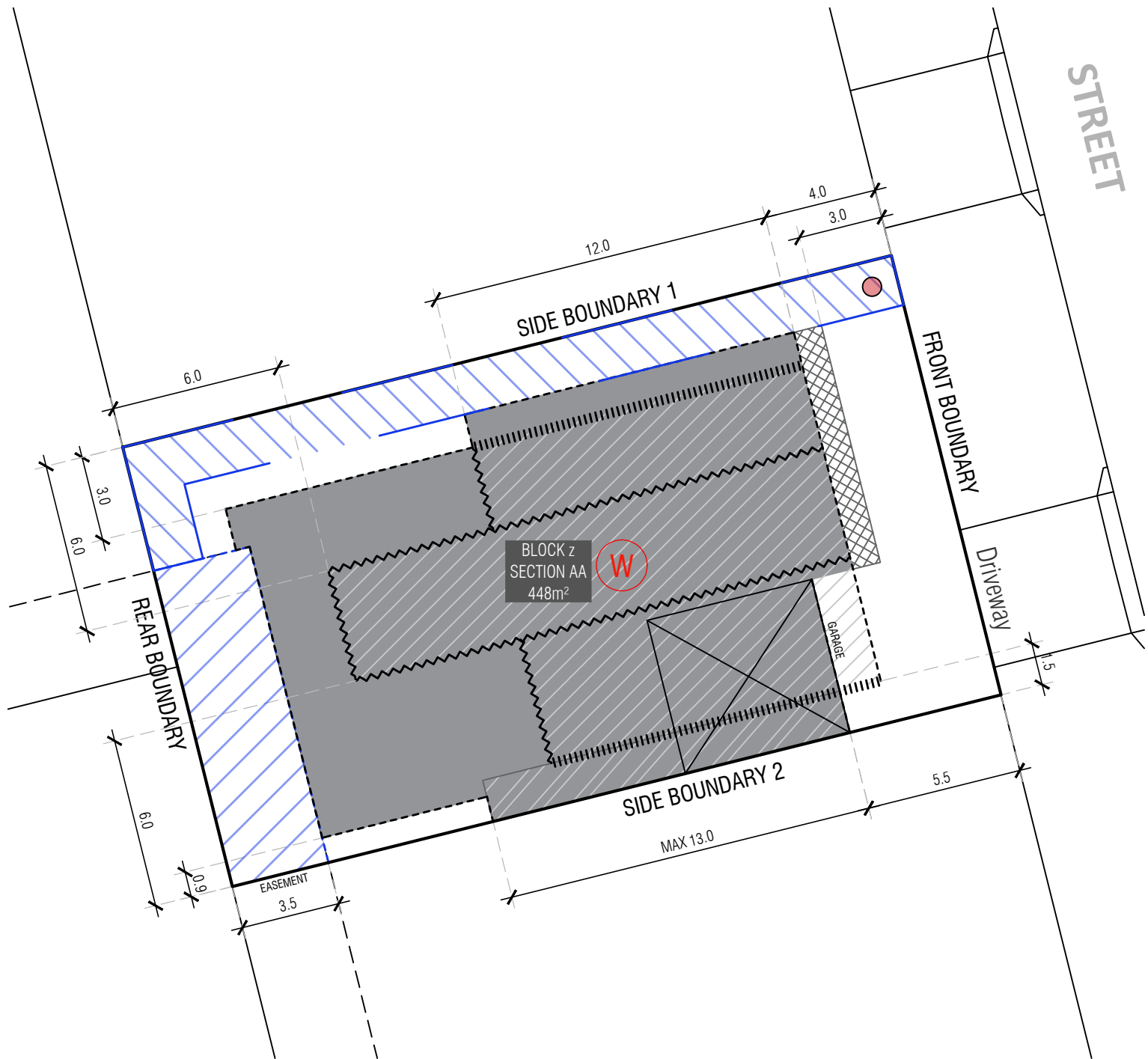
DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST PRECINCT CODE UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
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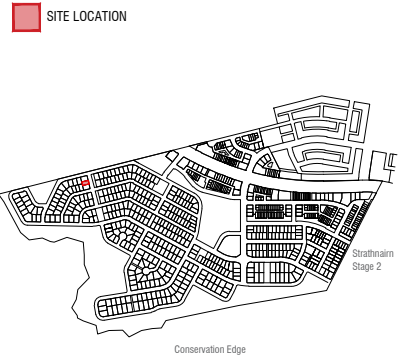


Ginninderry 

BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required *Refer Block Details Plan and ICON building requirements*
- Water tank requirements**

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
*front setbacks: refer to Rule 11:
 Table 3C for mid blocks
 side and rear setbacks: refer to Rule 12:
 Table 6B for mid blocks*
- 1.5m or nil setback for garage for mid size blocks
refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone)
*refer to SDHDC Rule 11:
 Table 3C for mid blocks*

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

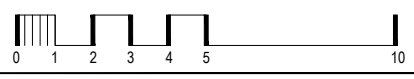
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AA
BLOCK	z
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

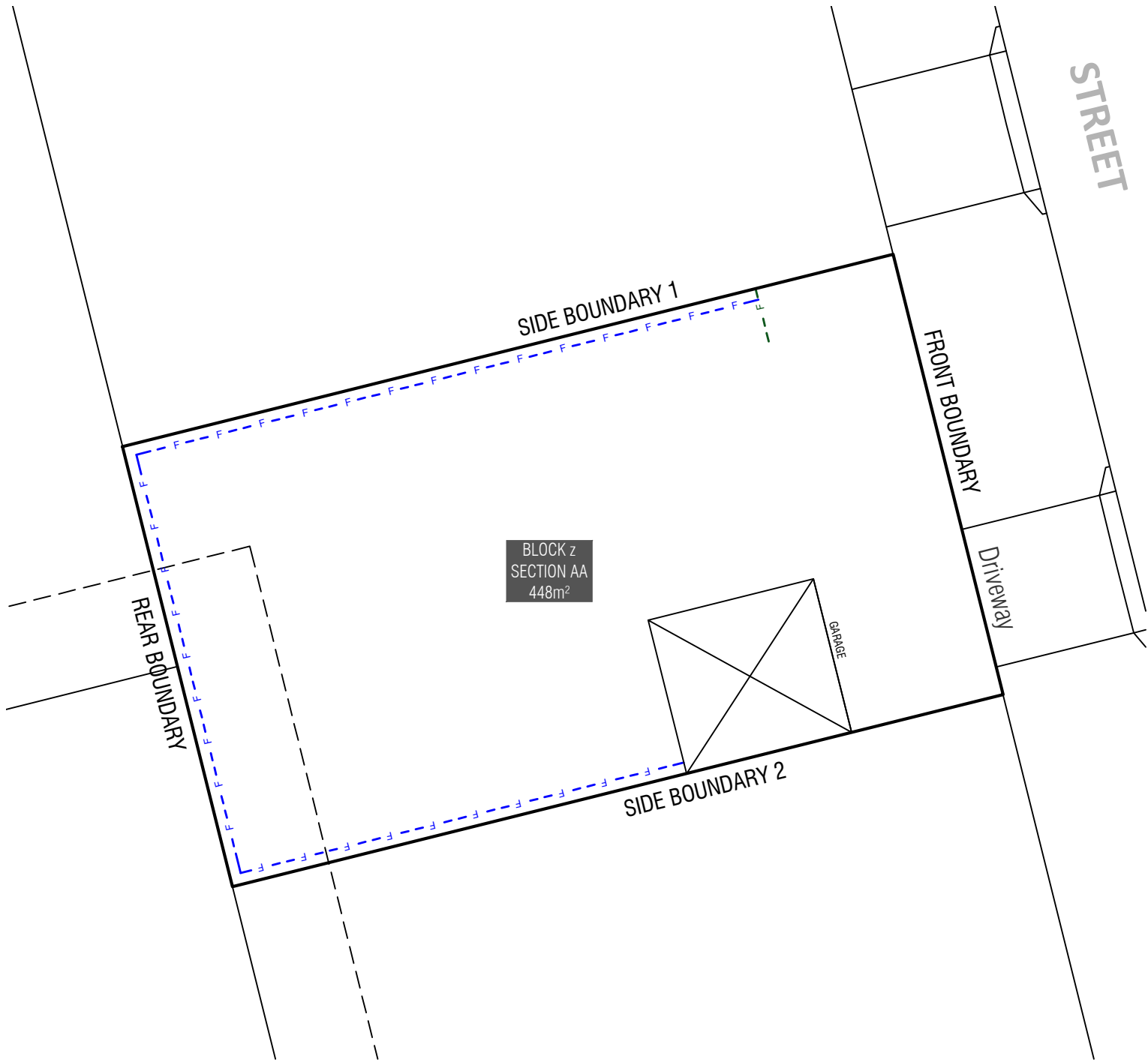
REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	CS	01/05/23

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SCALE
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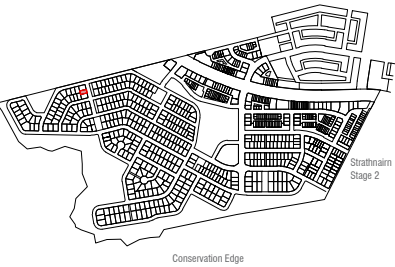


Ginninderry
 BLOCK PLANNING CONTROLS
 BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY Boundary Defined by SDHDC

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
- Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)

BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AA
BLOCK	z
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	CS	01/05/23

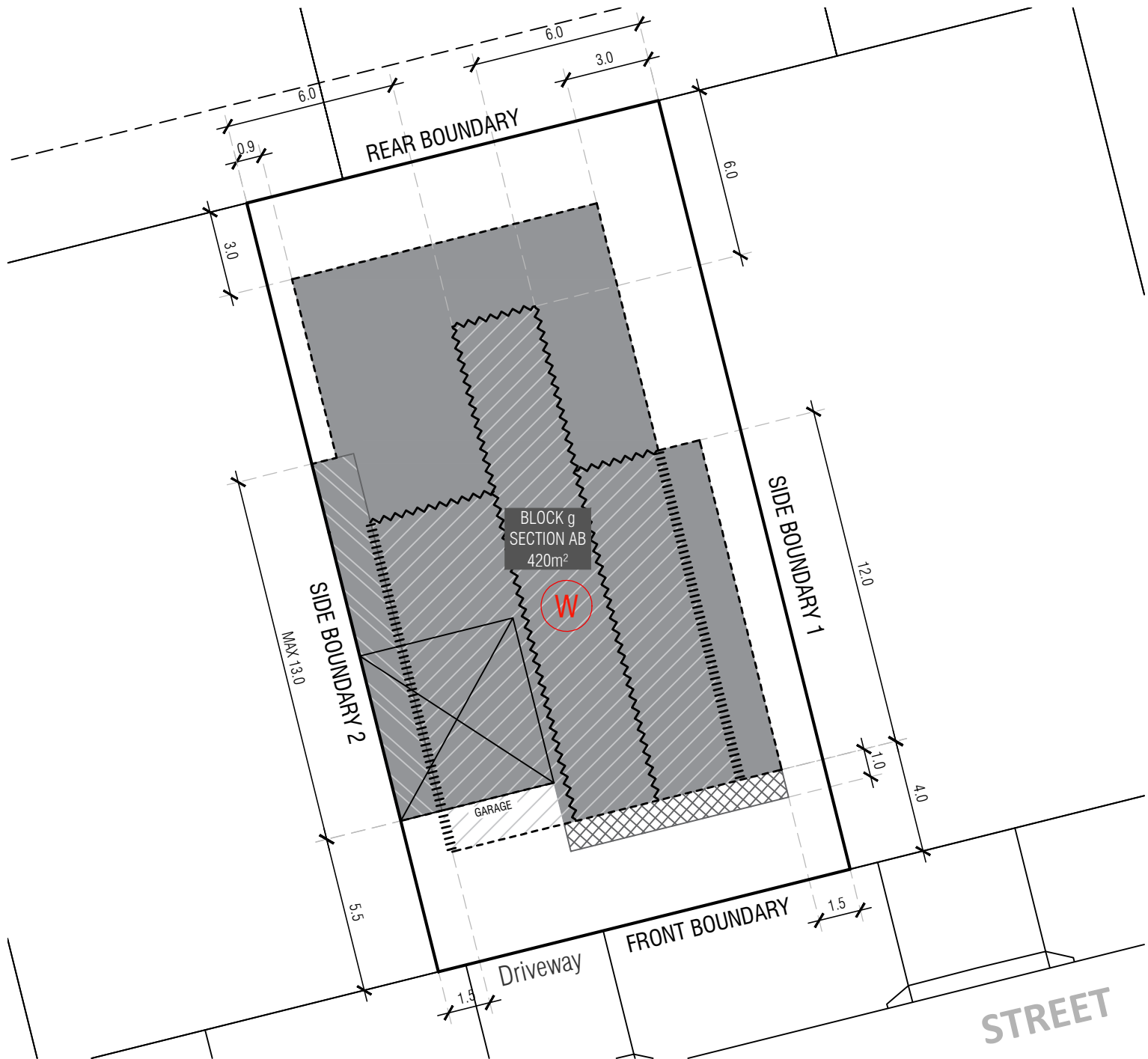
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SCALE
1:200 @A4



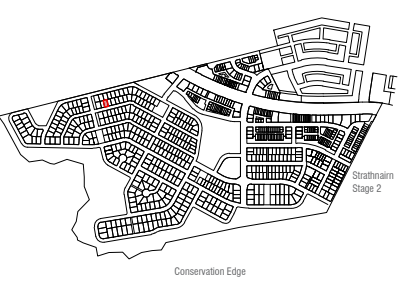
Ginninderry

**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**



KEY MAP

■ SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Water tank requirements**

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11: Table 3C for mid blocks side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone) refer to SDHDC Rule 11: Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

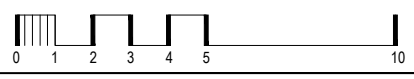
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AB
BLOCK	g
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

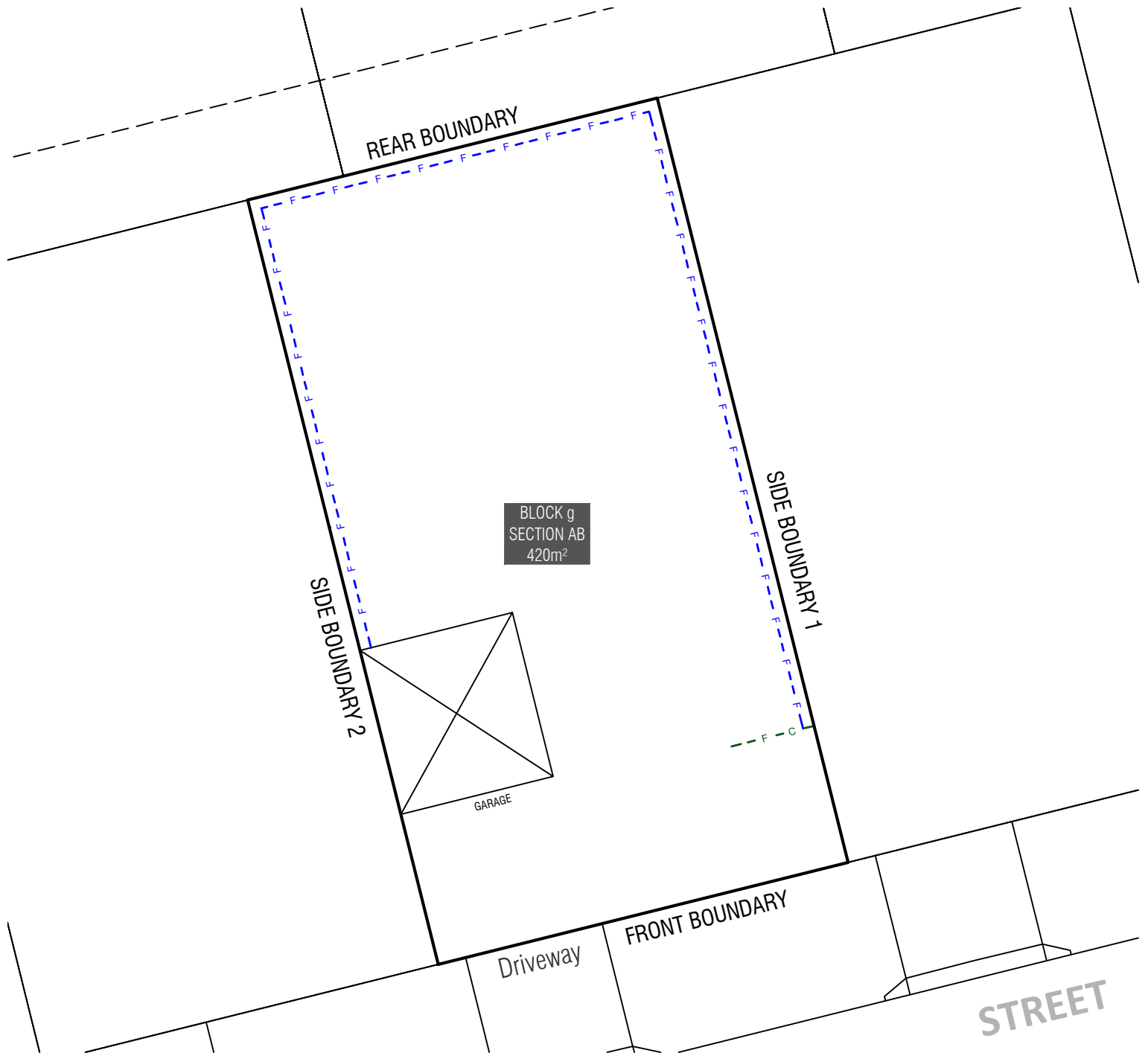
REV	DRAWN	CHECKED	APPROVED	DATE
C	8N	DZ	CS	17/04/23

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SCALE
1:200 @A4



Ginninderry
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



BLOCK g
SECTION AB
420m²

GARAGE

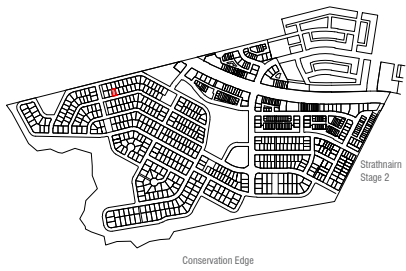
Driveway

FRONT BOUNDARY

STREET

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY Boundary Defined by SDHDC

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
- Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)

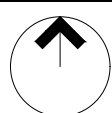
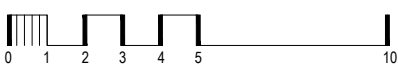
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AB
BLOCK	g
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

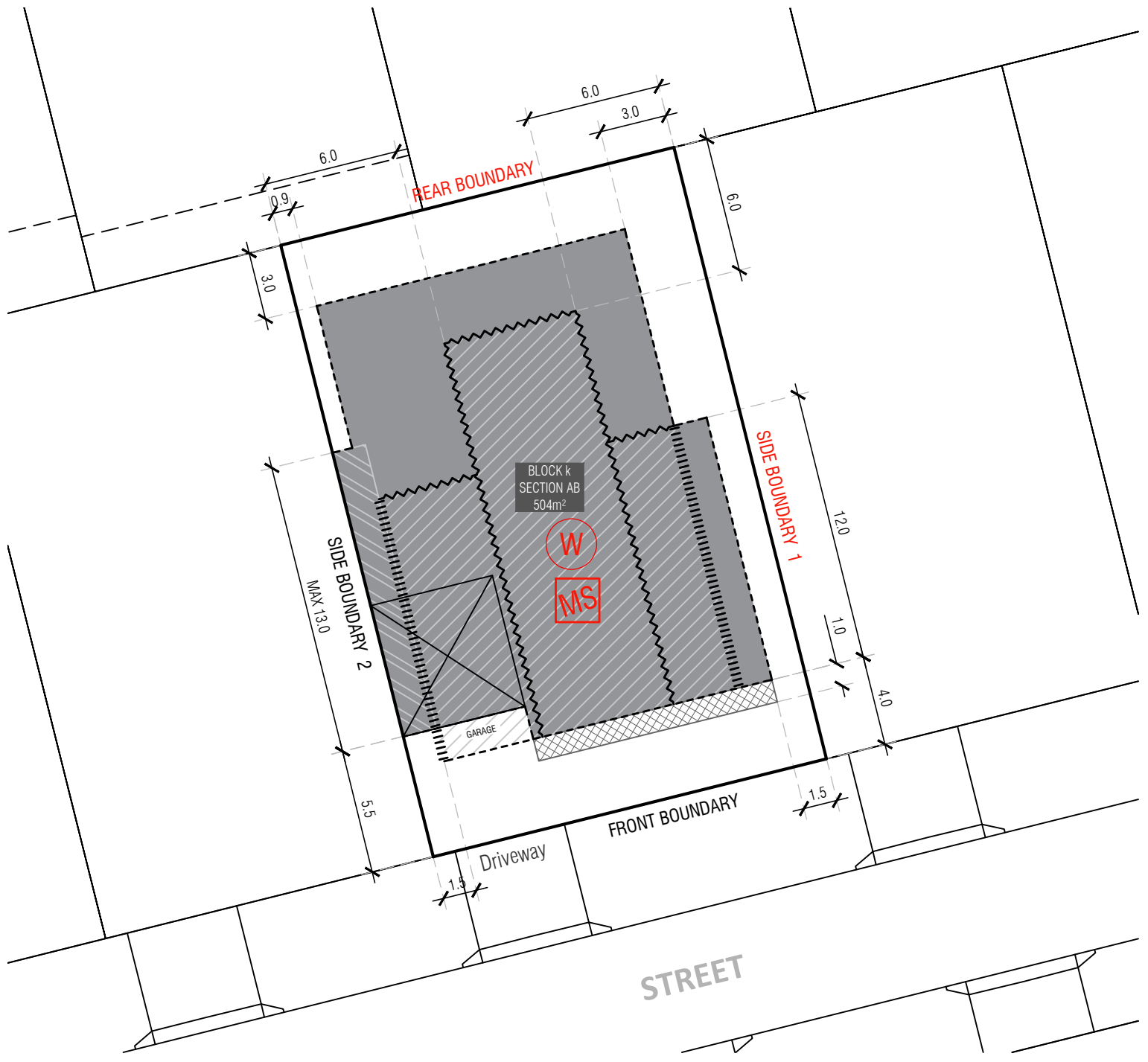
REV	DRAWN	CHECKED	APPROVED	DATE
B	8N	DZ	CS	17/04/23

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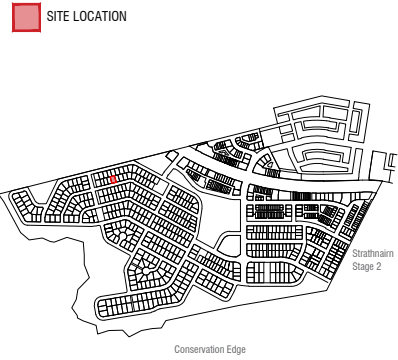
SCALE
1:200 @A4



Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary**
- Garage Location**
- Boundary Defined by SDHDC**
- Nominated Boundary for the Purposes of the SDHDC**
refer to EDP Planning Controls Plan
- Water tank requirements**
BLOCK SIZE (M²) MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350 2,000
351 ≤ 599 4,000
600 ≤ 800 8,000
> 801 10,000
- MS** Blocks 500sqm < 550sqm subject to mid size block provisions by EDP Planning Controls Plan

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)**
front setbacks: refer to Rule 11:
Table 3C for mid blocks
side and rear setbacks: refer to Rule 12:
Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks**
refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone)**
refer to SDHDC Rule 11:
Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level**
 - Upper Floor Level**
 - Upper Floor Level - Side and Rear Boundary - Screened**
 - Upper Floor Level - Side and Rear Boundary - Unscreened**

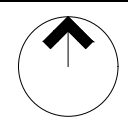
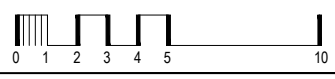
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AB
BLOCK	k
CLASSIFICATION	MID-SIZE/LARGE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
B	8N	DZ	CS	18/04/23

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SCALE
1:250 @A4



Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



BLOCK k
SECTION AB
504m²

REAR BOUNDARY

SIDE BOUNDARY 1

SIDE BOUNDARY 2

FRONT BOUNDARY

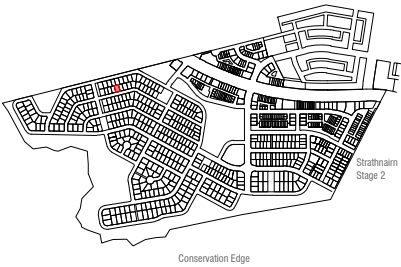
GARAGE

Driveway

STREET

KEY MAP

SITE LOCATION



LEGEND

Block Boundary

Garage Location

BOUNDARY
Boundary Defined by SDHDC

BOUNDARY FENCING

Side, Rear Fencing
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish

Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)

Street facing side gate/fence
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish

To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)

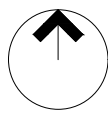
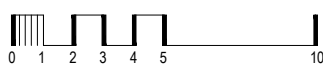
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AB
BLOCK	k
CLASSIFICATION	MID-SIZE/LARGE
HOUSING TYPE	SINGLE DWELLING

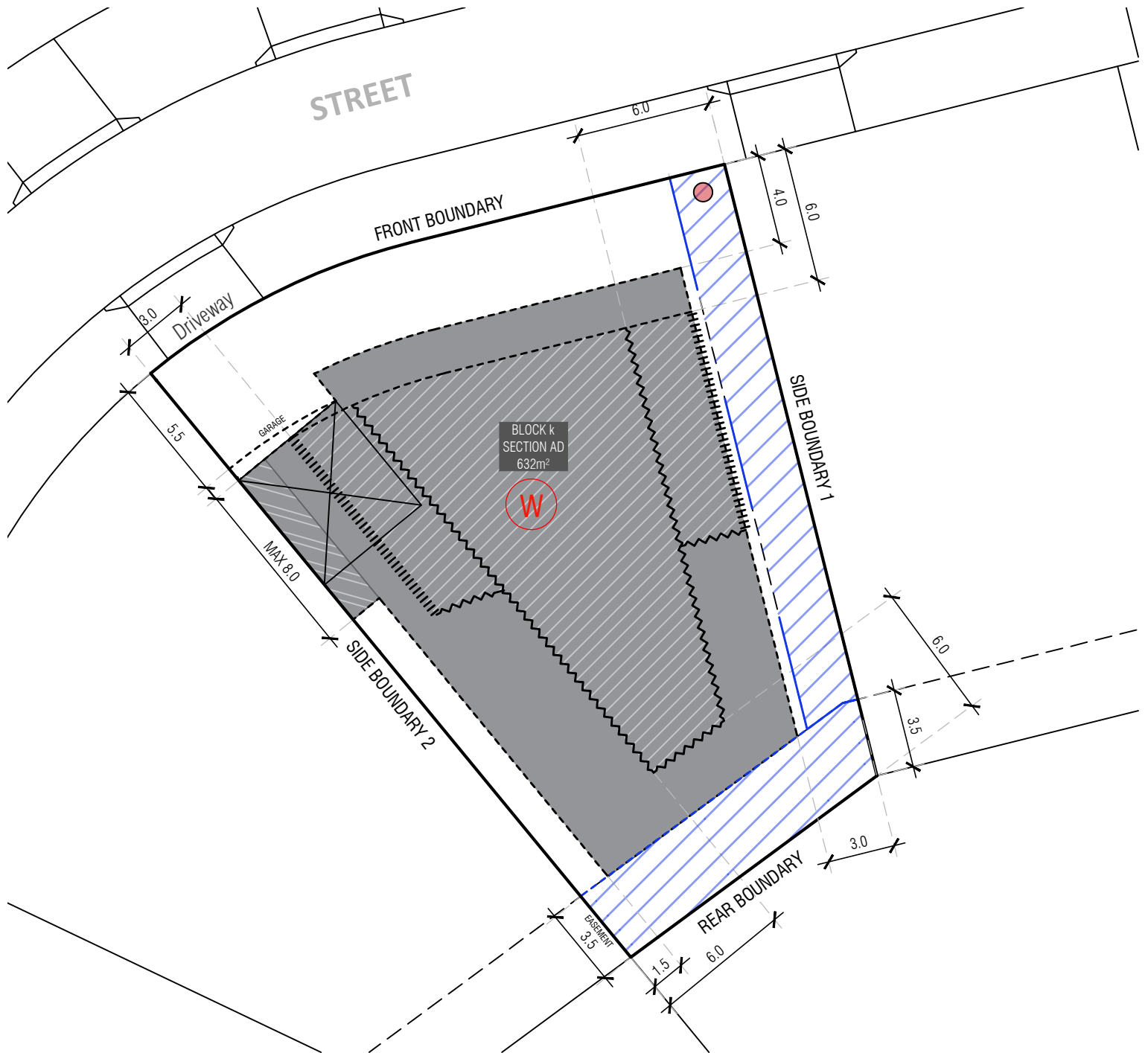
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B	DZ	DZ	CS	24/02/22

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SCALE
1:250 @A4

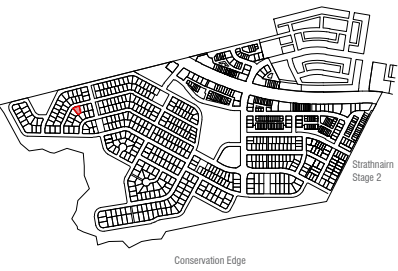


BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY**
Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required Refer Block Details Plan and ICON building requirements

Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

Single Dwelling Housing Development Code (SDHDC)
 front setbacks: refer to Rule 11:
 Table 2C for large blocks,
 side and rear setbacks: refer to Rule 12:
 Table 5 for large blocks,

Nil or 900mm garage setback for walls maximum 8m in length refer to SDHDC Rule 14, Table 5

INDICATIVE BUILDING FOOTPRINTS
 (based on min. building setbacks. This does not take into account plot ratio or building envelopes)

- Lower Floor Level
- Upper Floor Level
- Upper Floor Level - Side and Rear Boundary - Screened
- Upper Floor Level - Side and Rear Boundary - Unscreened

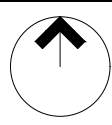
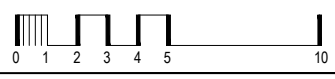
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AD
BLOCK	k
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

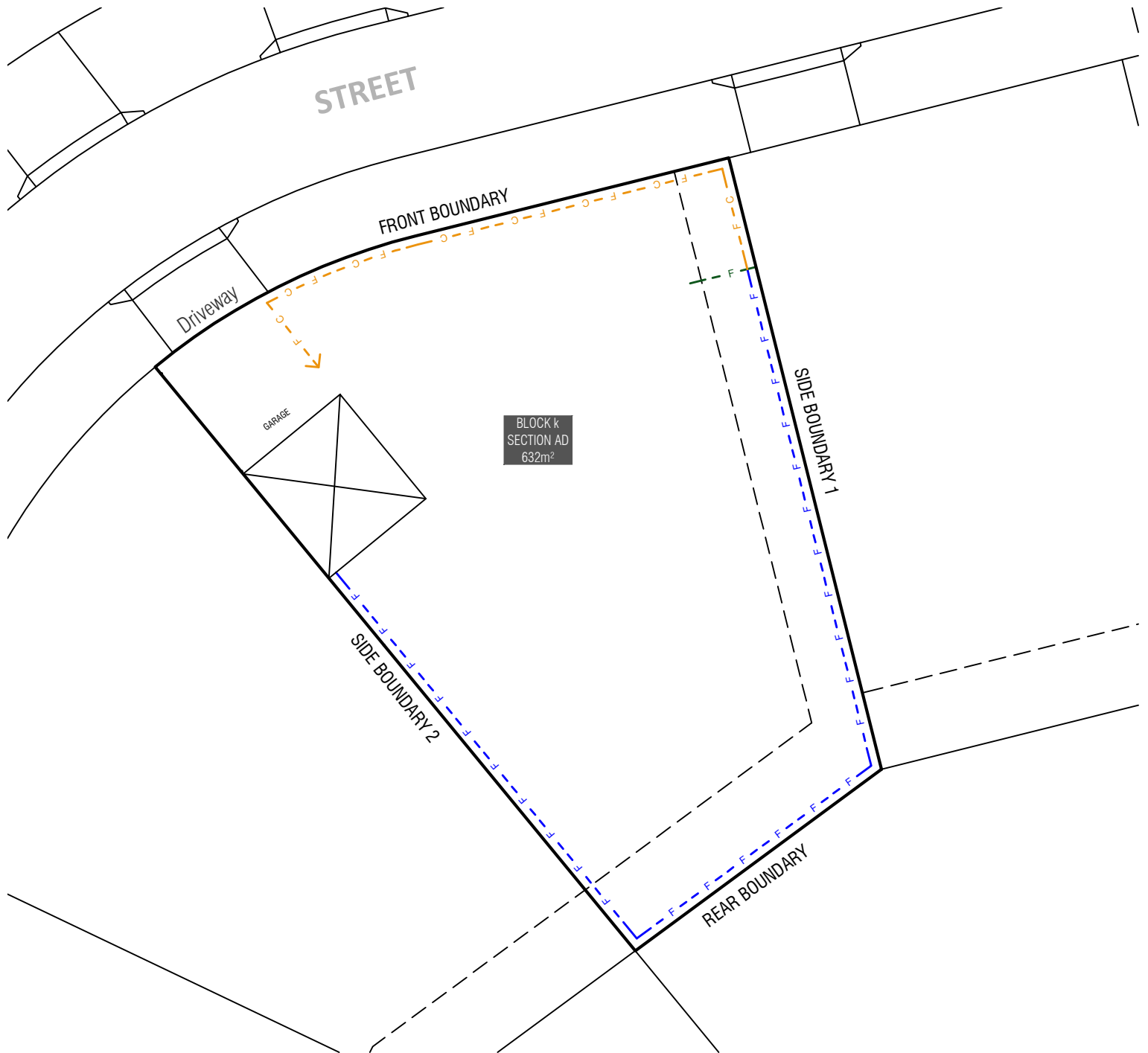
REV	DRAWN	CHECKED	APPROVED	DATE
D	DZ	DZ	CS	01/05/23

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SCALE
 1:250 @A4

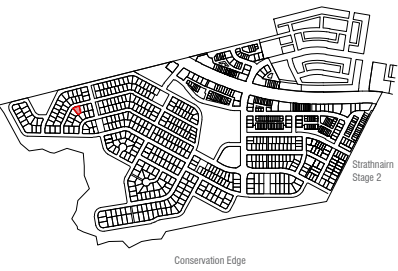


Ginninderry
 BLOCK PLANNING CONTROLS
 BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
 - Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
 - F5, Courtyard Wall Refer to EDP Fencing Controls Plan**
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)

Return Boundary Fencing to Building Line or Side Fence

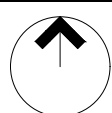
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AD
BLOCK	k
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	CS	01/05/23

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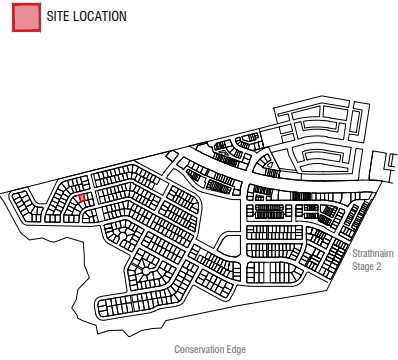
SCALE
1:250 @A4



Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required *Refer Block Details Plan and ICON building requirements*
- Water tank requirements**

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000
- Blocks 500sqm < 550sqm subject to mid size block provisions by *EDP Planning Controls Plan*

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11: Table 3C for mid blocks side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone) refer to SDHDC Rule 11: Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

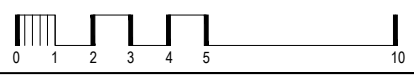
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AD
BLOCK	m
CLASSIFICATION	MID-SIZE/LARGE
HOUSING TYPE	SINGLE DWELLING

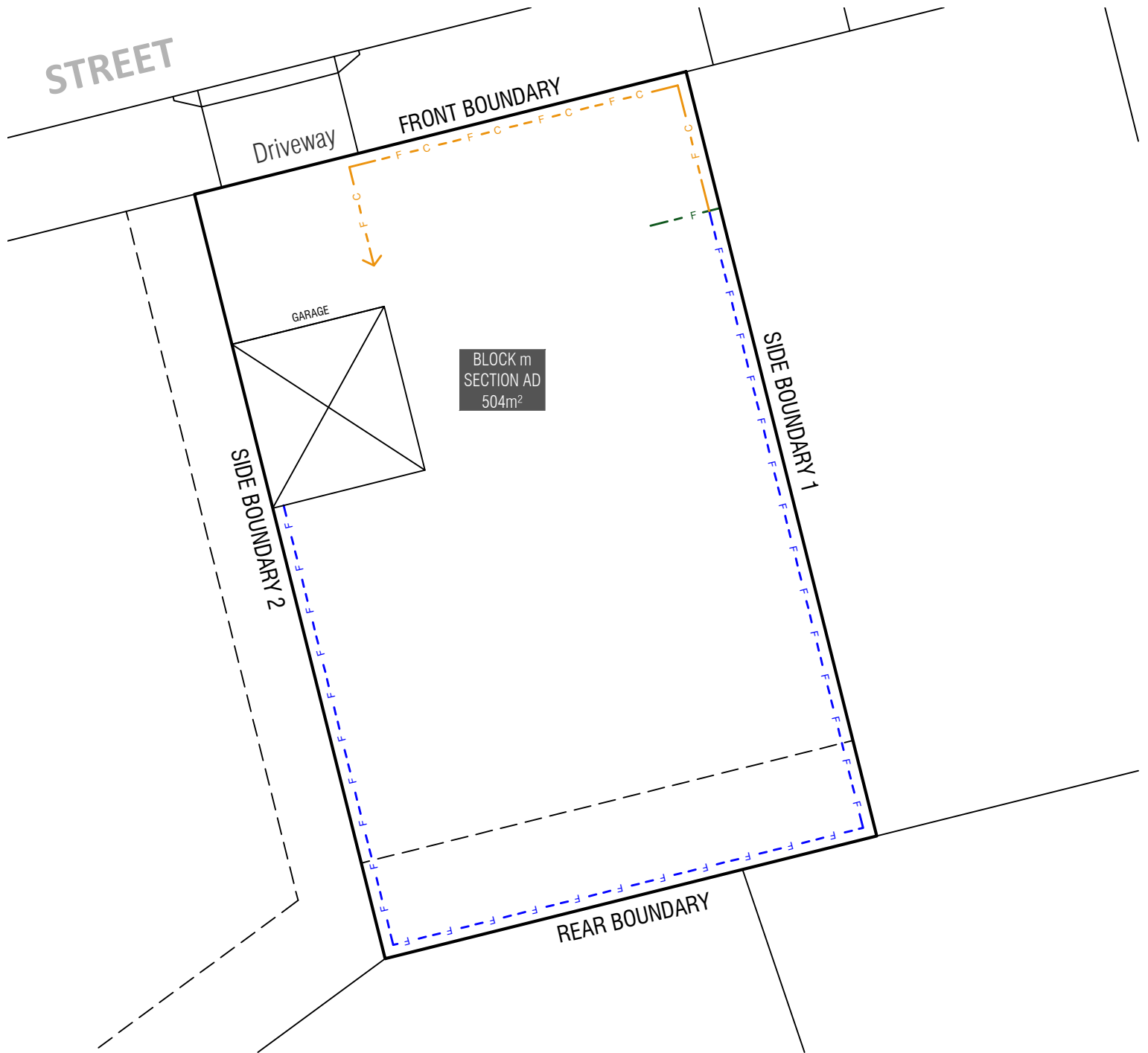
REV	DRAWN	CHECKED	APPROVED	DATE
D	DZ	DZ	CS	01/05/23

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
 INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST PRECINCT CODE UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE
1:200 @A4

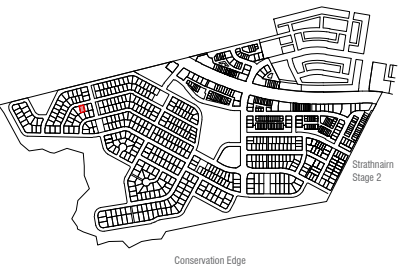


Ginninderry
 BLOCK PLANNING CONTROLS
 BUILDING & SITING CONTROLS PLAN

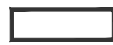




KEY MAP




■ SITE LOCATION



LEGEND

-  Block Boundary
-  Garage Location
-  Boundary Defined by SDHDC

BOUNDARY FENCING

-  **Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
 -  **Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
 -  **F5, Courtyard Wall** Refer to EDP Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)

 Return Boundary Fencing to Building Line or Side Fence

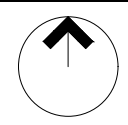
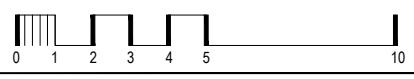
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AD
BLOCK	m
CLASSIFICATION	MID-SIZE/LARGE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	CS	01/05/23

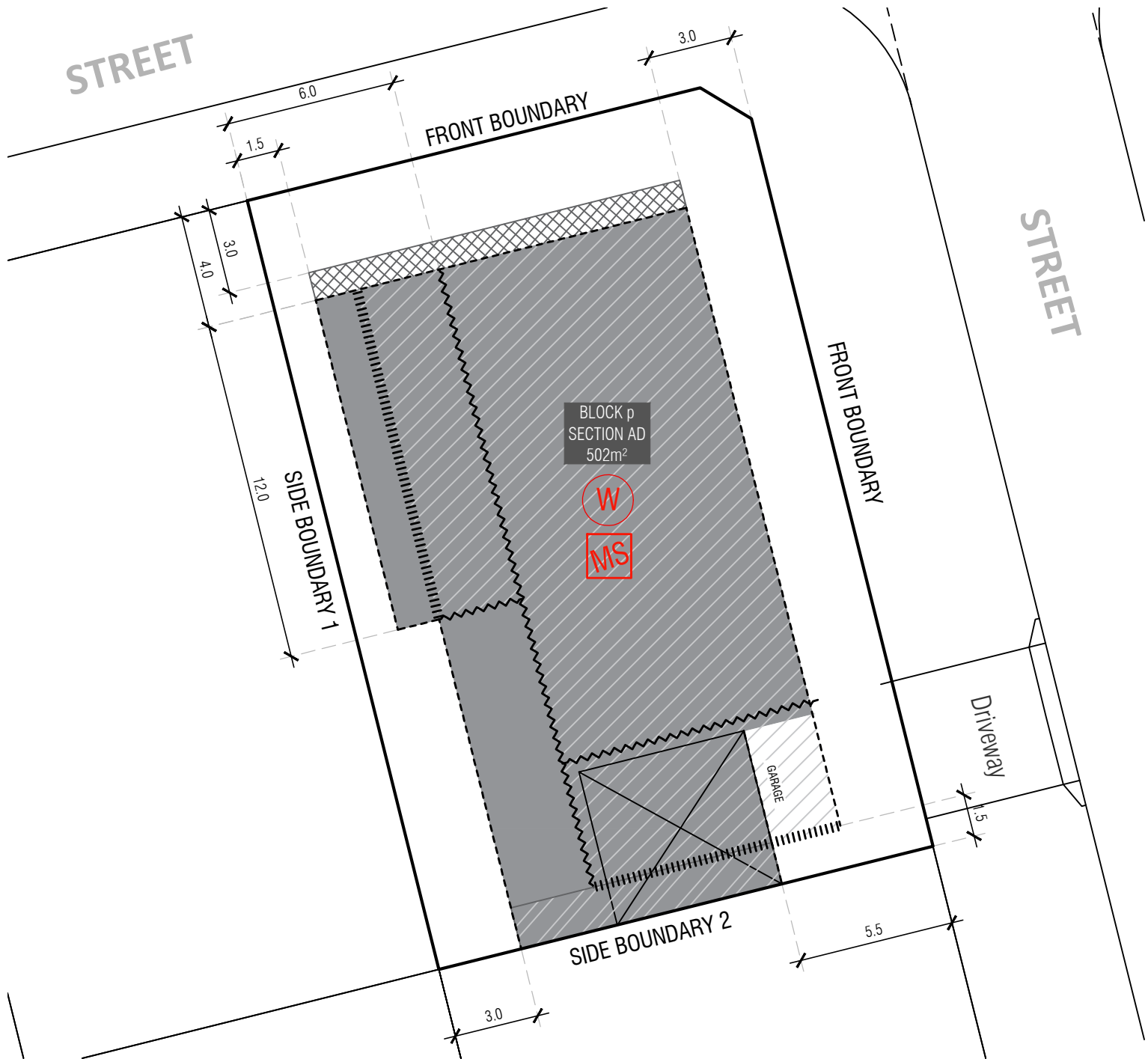
DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
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SCALE
1:200 @A4

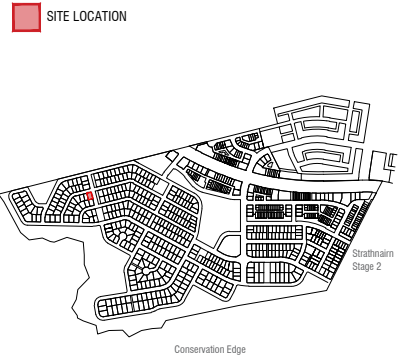


Ginninderry 

BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- SITE LOCATION
- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000
- Blocks 500sqm < 550sqm subject to mid size block provisions by EDP Planning Controls Plan

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11: Table 3C for mid blocks side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone) refer to SDHDC Rule 11: Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

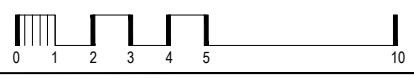
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AD
BLOCK	p
CLASSIFICATION	MID-SIZE/LARGE
HOUSING TYPE	SINGLE DWELLING

REV B DRAWN 8N CHECKED DZ APPROVED CS DATE 17/04/23

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SCALE
1:200 @A4



Ginninderry

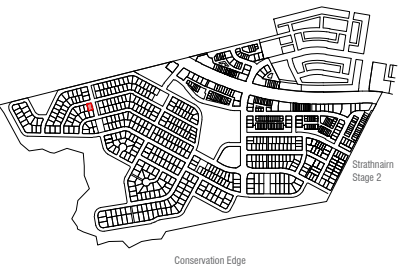
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN






BLOCK p
SECTION AD
502m²

KEY MAP




■ SITE LOCATION



LEGEND

-  Block Boundary
-  Garage Location
-  Boundary Defined by SDHDC

BOUNDARY FENCING

-  **Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **F5, Courtyard Wall** Refer to EDP Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil

No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)

 Return Boundary Fencing to Building Line or Side Fence

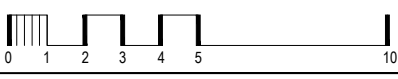
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AD
BLOCK	p
CLASSIFICATION	MID-SIZE/LARGE
HOUSING TYPE	SINGLE DWELLING

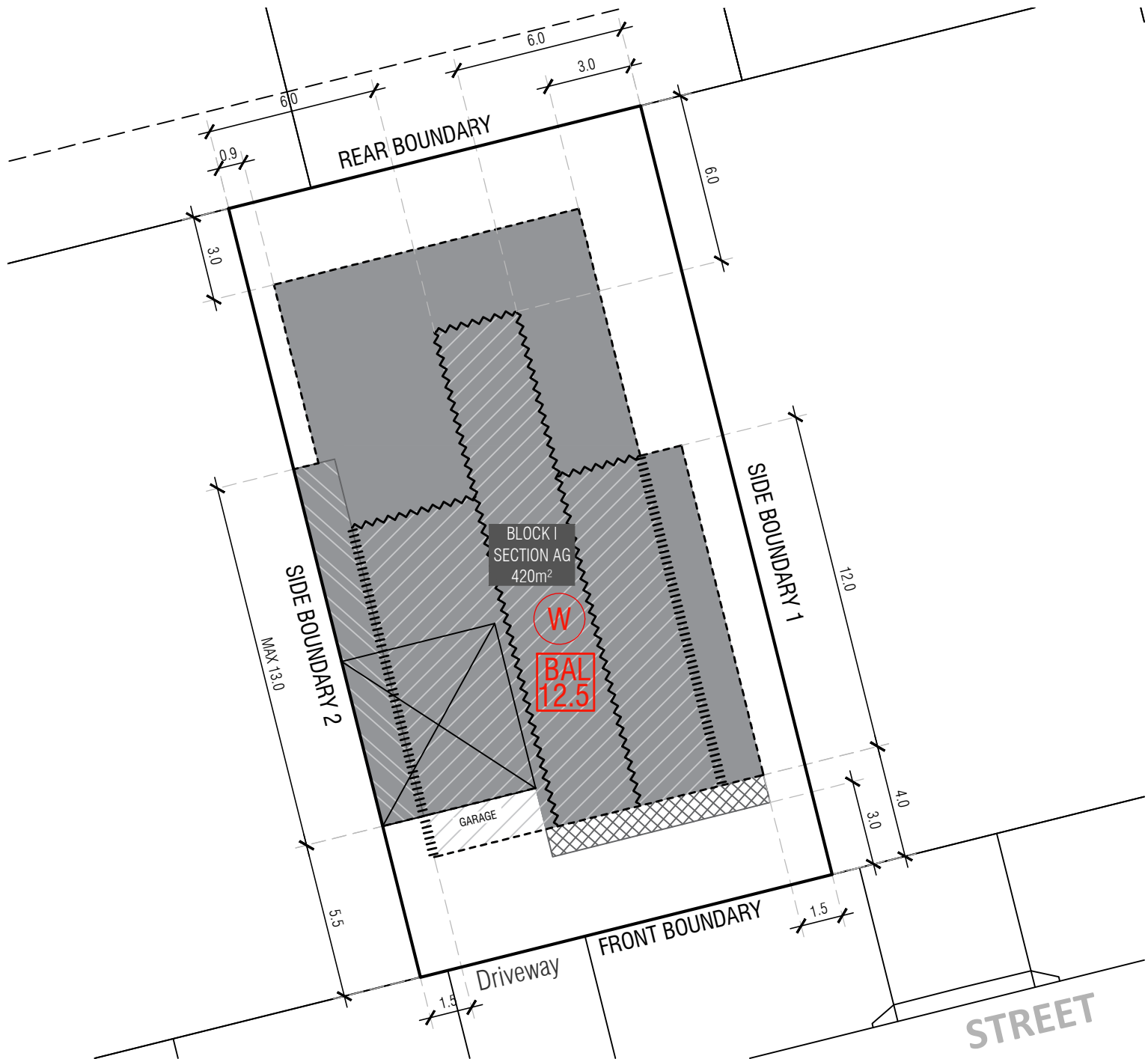
REV	DRAWN	CHECKED	APPROVED	DATE
B	8N	DZ	CS	17/04/23

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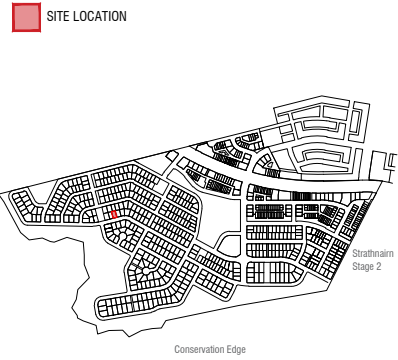
SCALE
1:200 @A4




**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**



KEY MAP



LEGEND

- Block Boundary
 - Garage Location
 - Boundary Defined by SDHDC
 - Water tank requirements
 - BAL 12.5 Building Standard refer to EDP Planning Controls Plan
- | BLOCK SIZE (M ²) | MANDATORY MINIMUM TANK SIZE (L) |
|------------------------------|---------------------------------|
| 251 ≤ 350 | 2,000 |
| 351 ≤ 599 | 4,000 |
| 600 ≤ 800 | 8,000 |
| > 801 | 10,000 |

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11: Table 3C for mid blocks side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone) refer to SDHDC Rule 11: Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

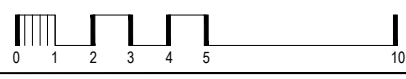
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AG
BLOCK	I
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

REV C 8N DZ CS DATE 17/04/23

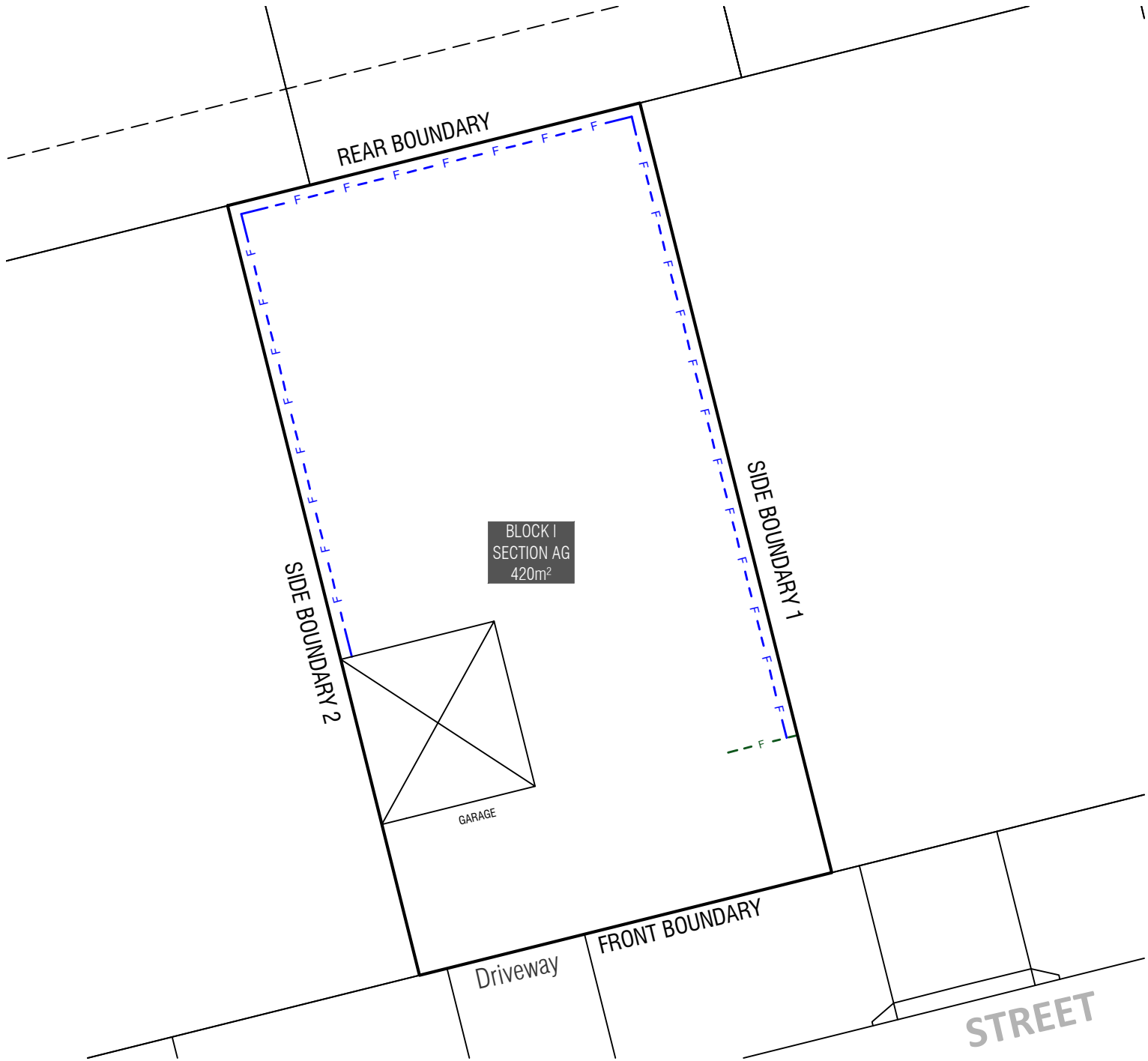
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SCALE 1:200 @A4



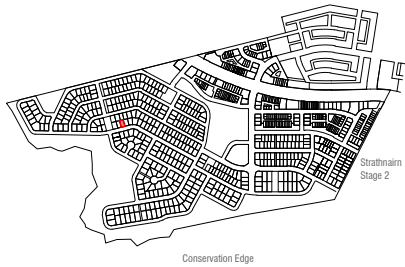
Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY** Boundary Defined by SDHDC

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
- Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)

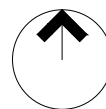
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AG
BLOCK	I
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

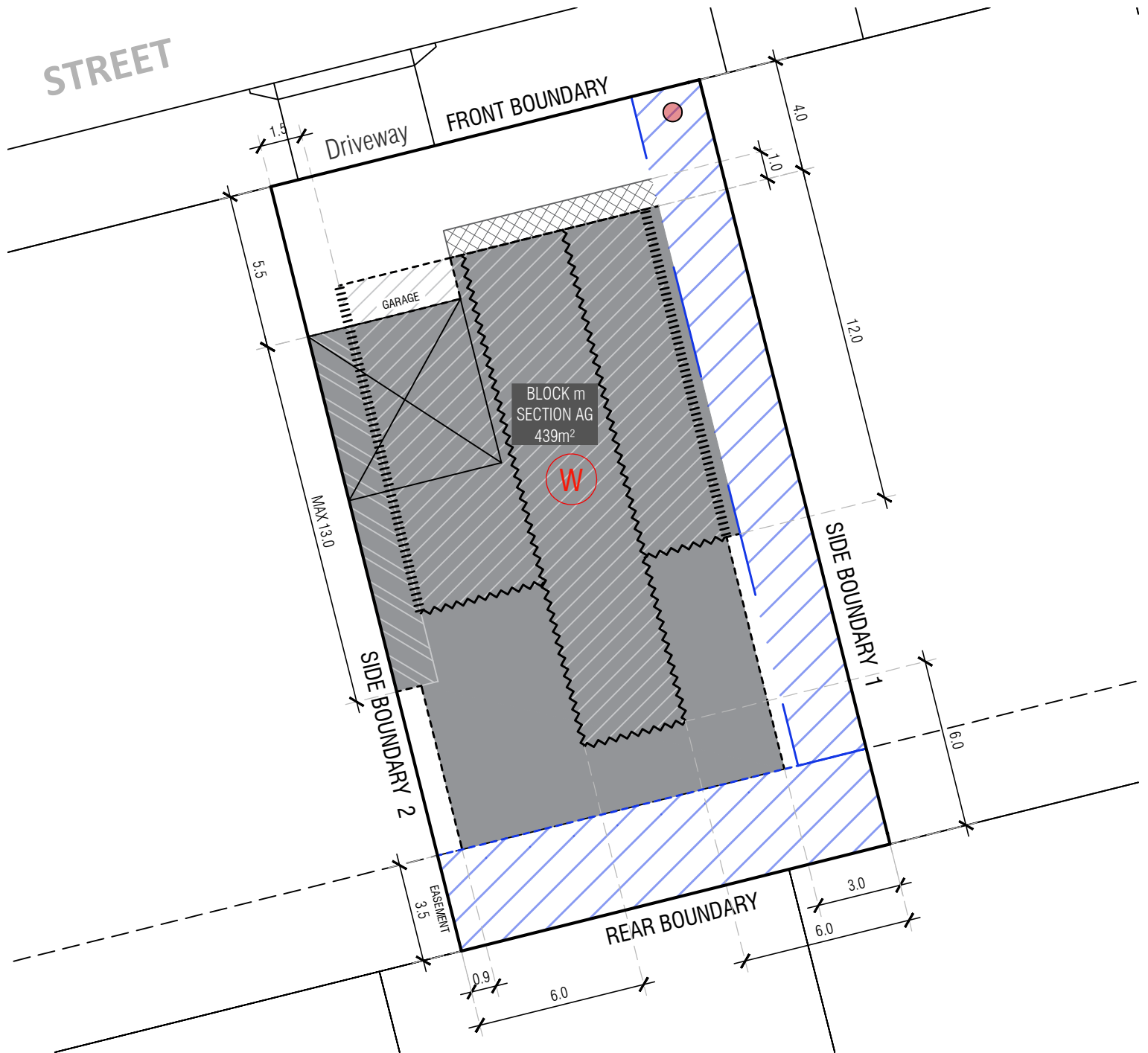
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B	DZ	CS	CS	23/02/22

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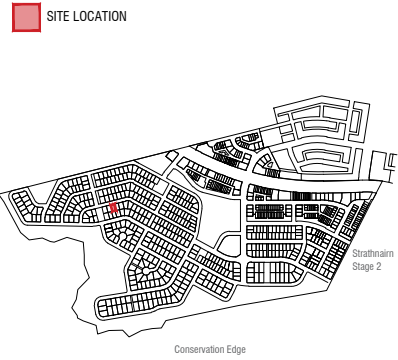
SCALE
1:200 @A4



**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**



KEY MAP



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required Refer Block Details Plan and ICON building requirements
- Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11: Table 3C for mid blocks side and rear setbacks: refer to Rule 12: Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone) refer to SDHDC Rule 11: Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

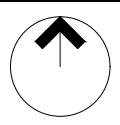
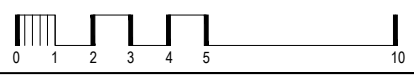
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AG
BLOCK	m
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

REV C 8N DZ CS APPROVED DATE 17/04/23

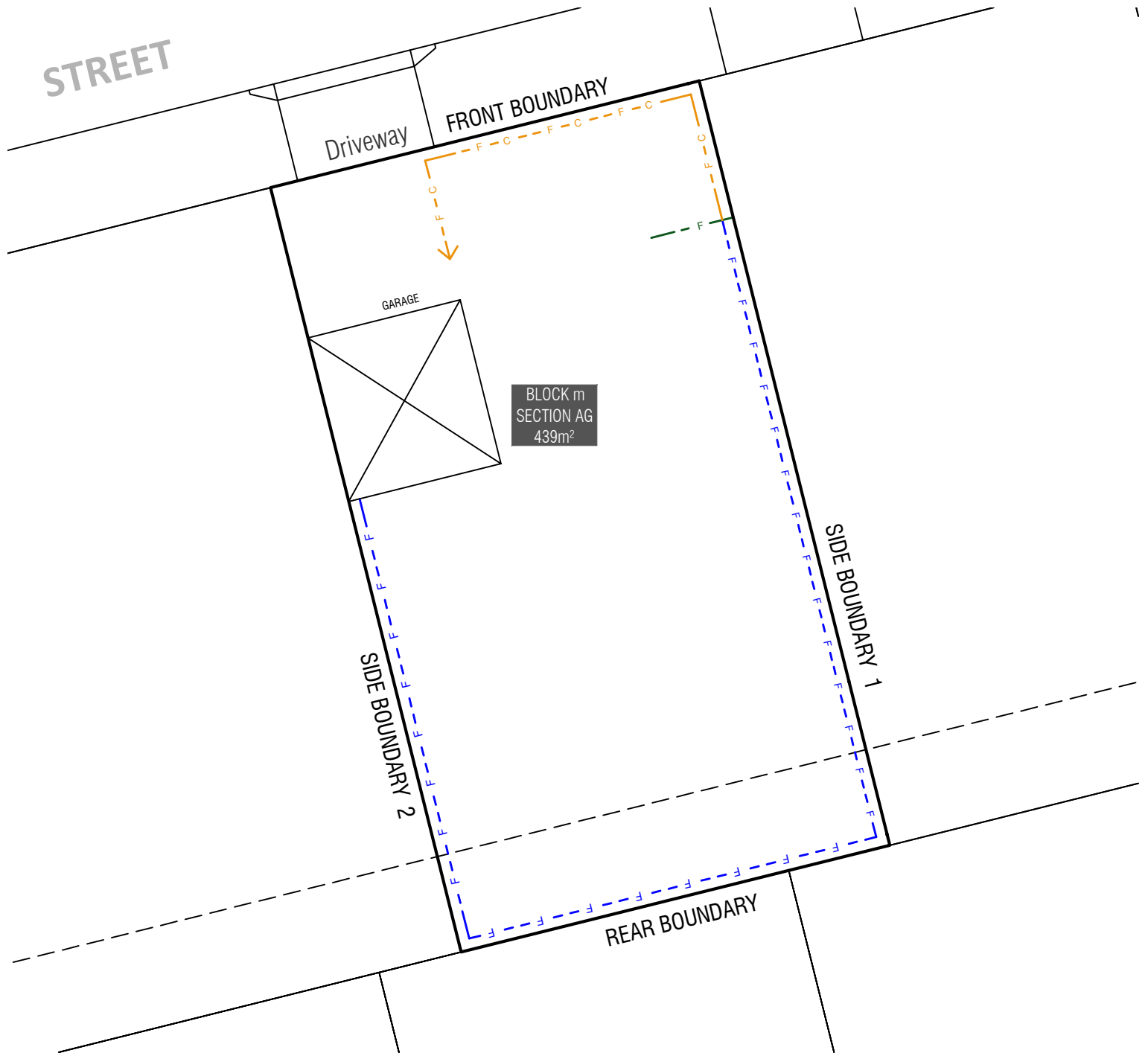
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SCALE 1:200 @A4



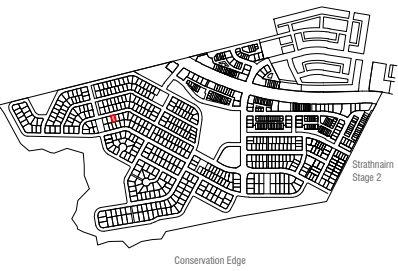
Ginninderry

BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN






KEY MAP

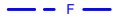


■ SITE LOCATION



LEGEND

-  Block Boundary
-  Garage Location
-  Boundary Defined by SDHDC

BOUNDARY FENCING

-  **Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
-  **F5, Courtyard Wall** Refer to EDP Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil

No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)

 Return Boundary Fencing to Building Line or Side Fence

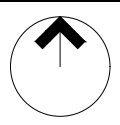
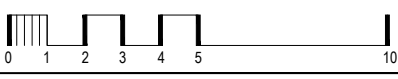
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AG
BLOCK	m
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

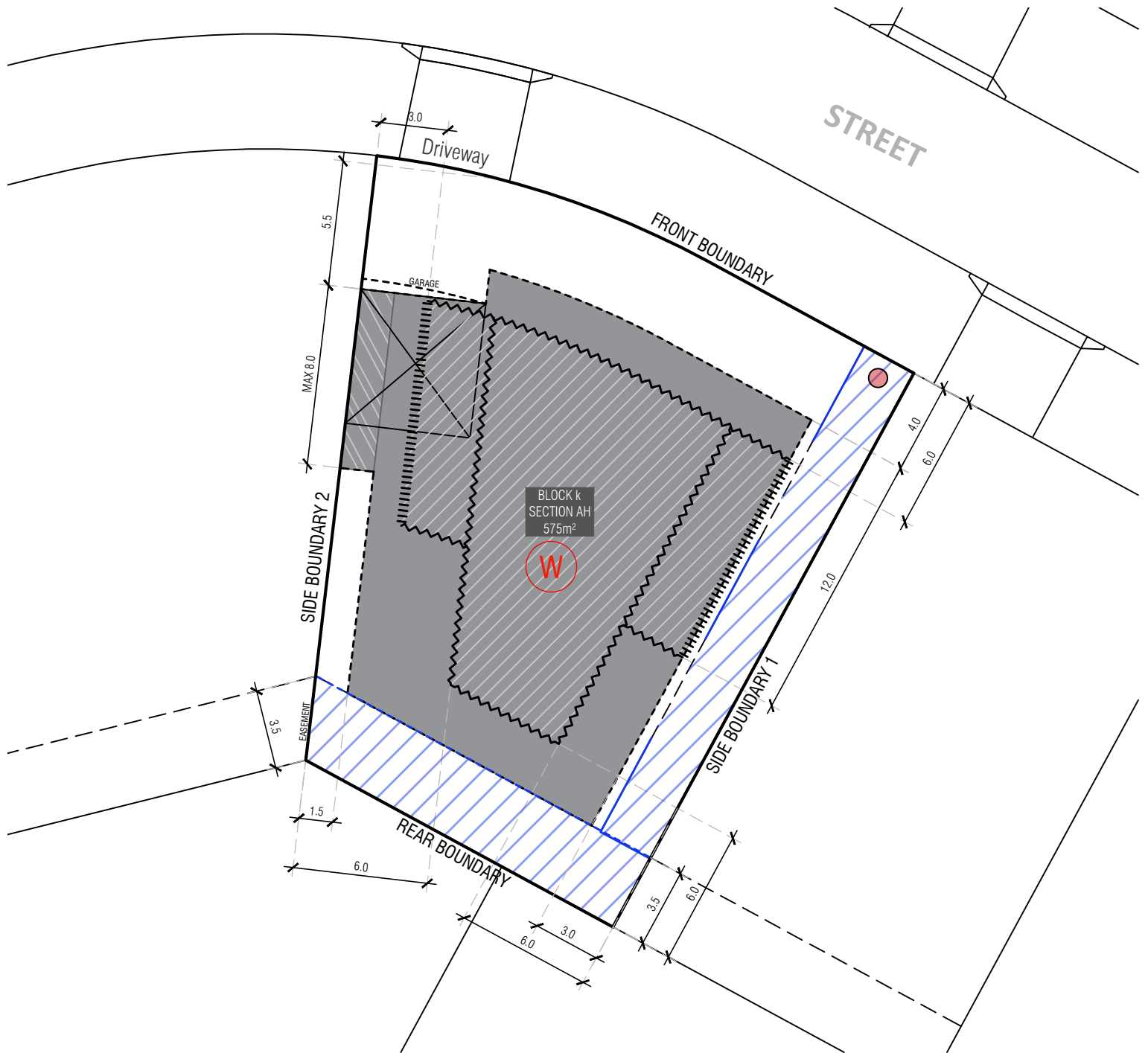
REV	DRAWN	CHECKED	APPROVED	DATE
B	8N	DZ	CS	17/04/23

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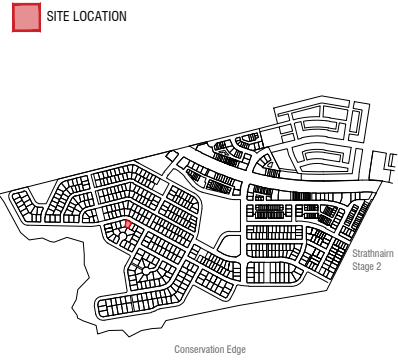
SCALE
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**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**



KEY MAP



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required *Refer Block Details Plan and ICON building requirements*
- Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
 Front setbacks: refer to Rule 11:
 Table 2C for large blocks
 Side and rear setbacks: refer to Rule 12:
 Table 5 for large blocks
- Nil or 900mm garage setback for walls maximum 8m in length refer to SDHDC Rule 14, Table 5

INDICATIVE BUILDING FOOTPRINTS

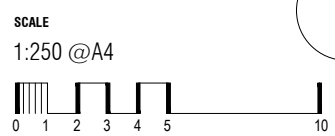
- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

BLOCK INFORMATION

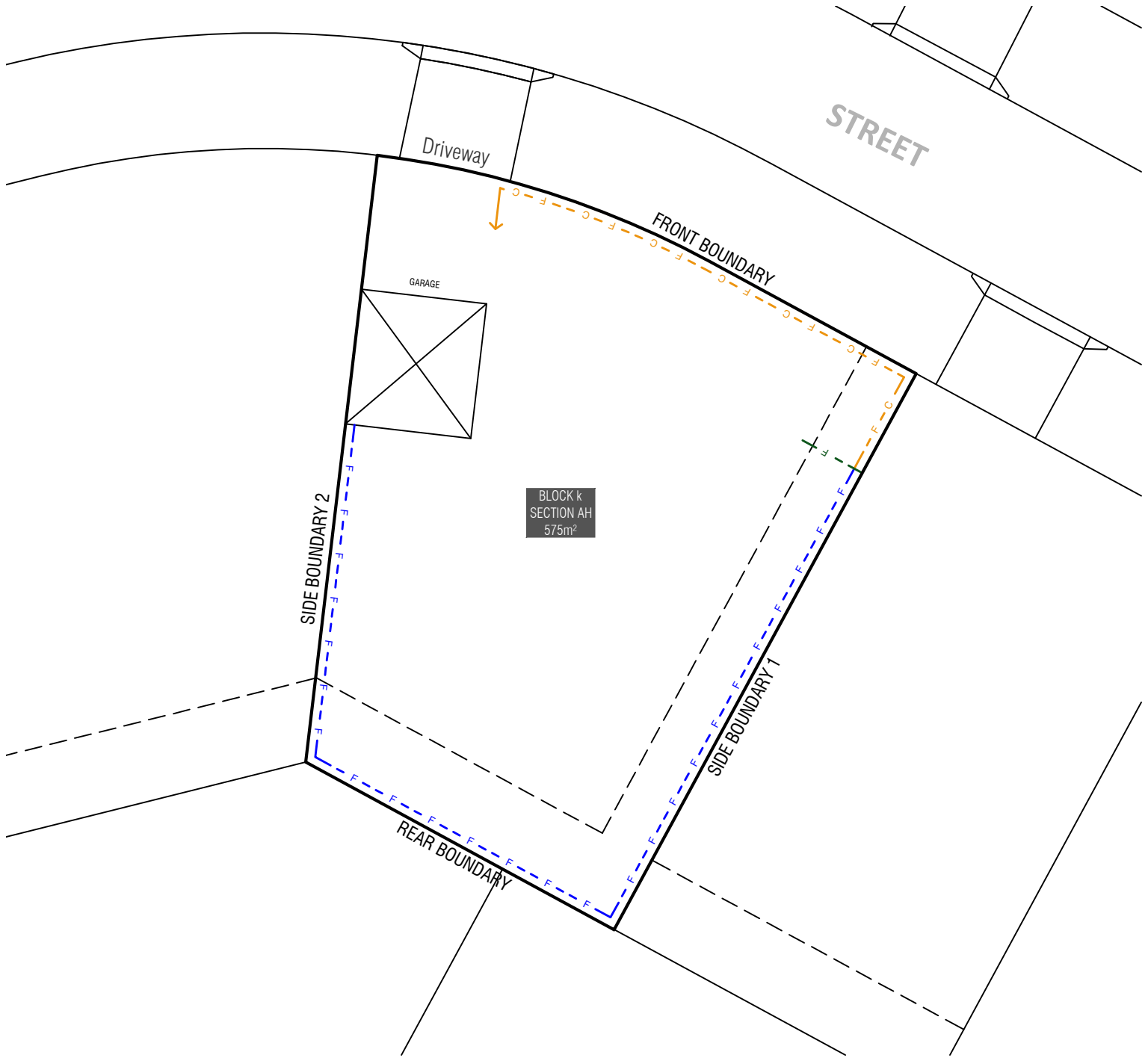
STAGE	1D
ZONE	RZ3
SECTION	AH
BLOCK	k
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
D	DZ	DZ	CS	01/05/23

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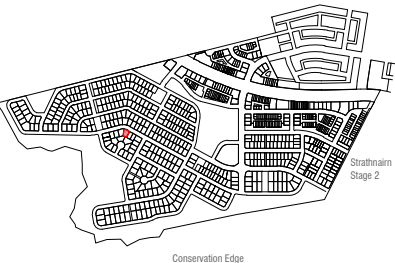


Ginninderry
 BLOCK PLANNING CONTROLS
 BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY Boundary Defined by SDHDC

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
 - Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
 - F5, Courtyard Wall** Refer to EDP Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)



Return Boundary Fencing to Building Line or Side Fence

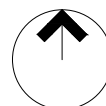
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AH
BLOCK	k
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
C	DZ	DZ	CS	01/05/23

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
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SCALE
1:250 @A4

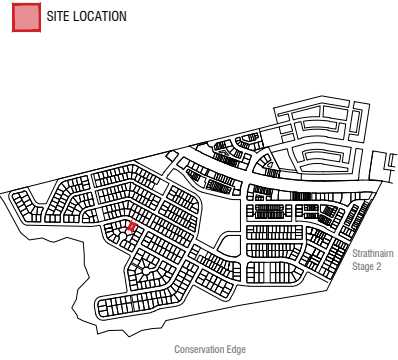


Ginninderry

**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**



KEY MAP



LEGEND

- SITE LOCATION
- Block Boundary
- Garage Location
- BOUNDARY Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required Refer Block Details Plan and ICON building requirements
- Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	8,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
front setbacks: refer to Rule 11:
Table 3C for mid blocks
side and rear setbacks: refer to Rule 12:
Table 6B for mid blocks
- 1.5m or nil setback for garage for mid size blocks
refer to SDHDC Rule 15, Table 6B
- Articulation Elements (Articulation Zone)
refer to SDHDC Rule 11:
Table 3C for mid blocks

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

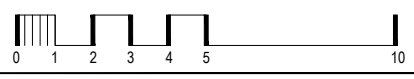
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AH
BLOCK	n
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

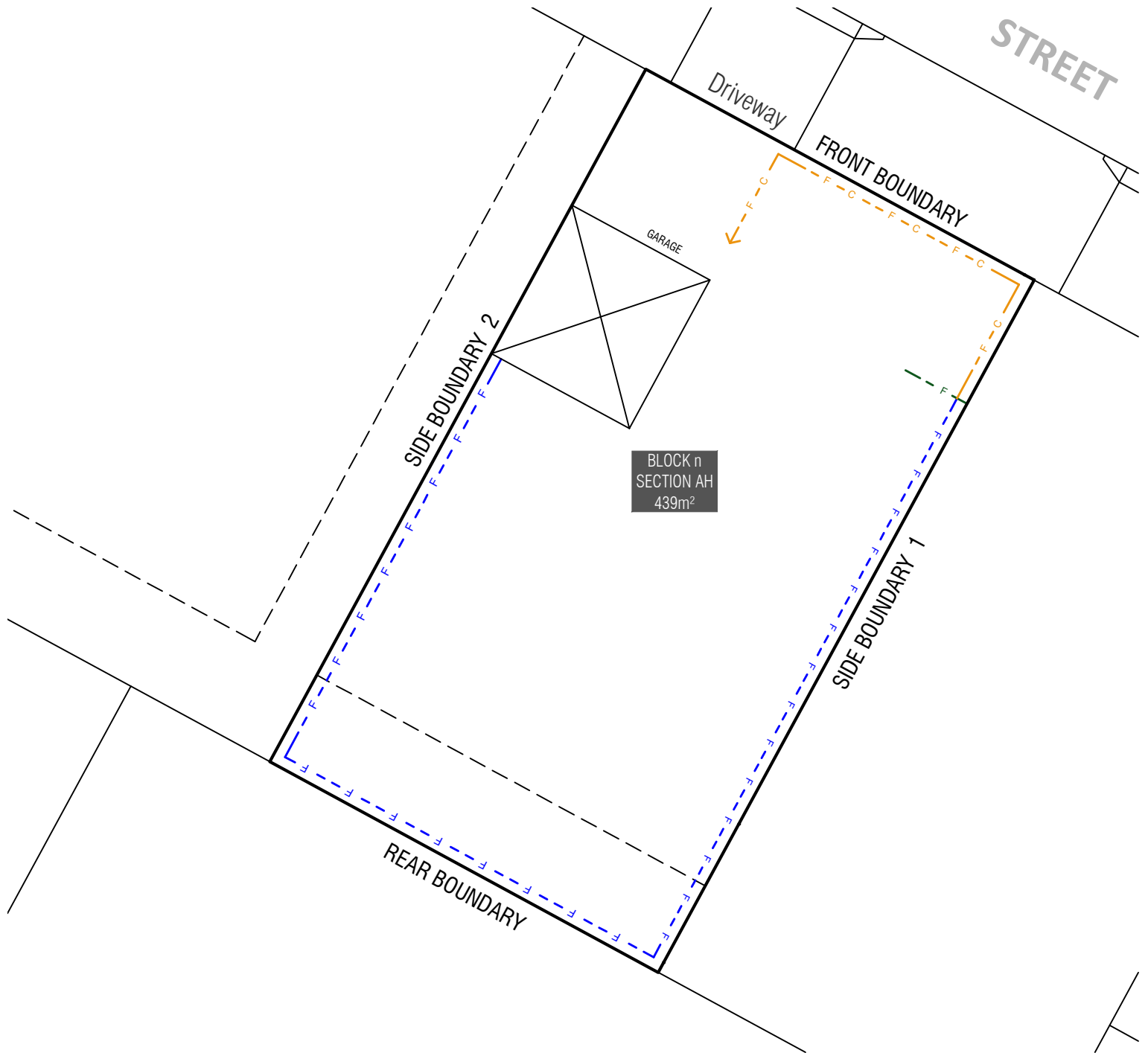
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D	DZ	DZ	CS	01/05/23

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.
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SCALE
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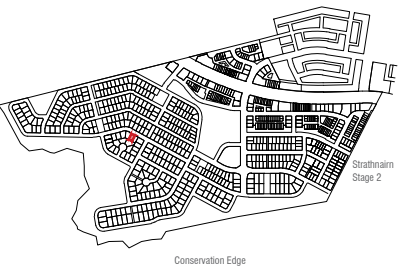


Ginninderry
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- BOUNDARY** Boundary Defined by SDHDC

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m from NGL | Minimum setback 0m (100%) | **Min 1m behind the front building line**
Construction and Finish
Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen or Miniscreen and colour "Jasper". Refer to Ginninderry Housing Design Requirements (Macnamara)
 - Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line**
Construction and Finish
To be open form (min 10mm gaps) either treated hardwood, powder coated aluminum. Refer to Ginninderry Housing Design Requirements (Macnamara)
 - F5, Courtyard Wall** Refer to EDP Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- No fences are permitted forward of the building line. Courtyard walls are permitted in instances where specified in the Macnamara Precinct Map & Code and SDHDC or MUHDC (whichever is applicable)

Return Boundary Fencing to Building Line or Side Fence

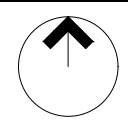
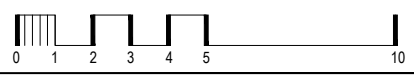
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AH
BLOCK	n
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

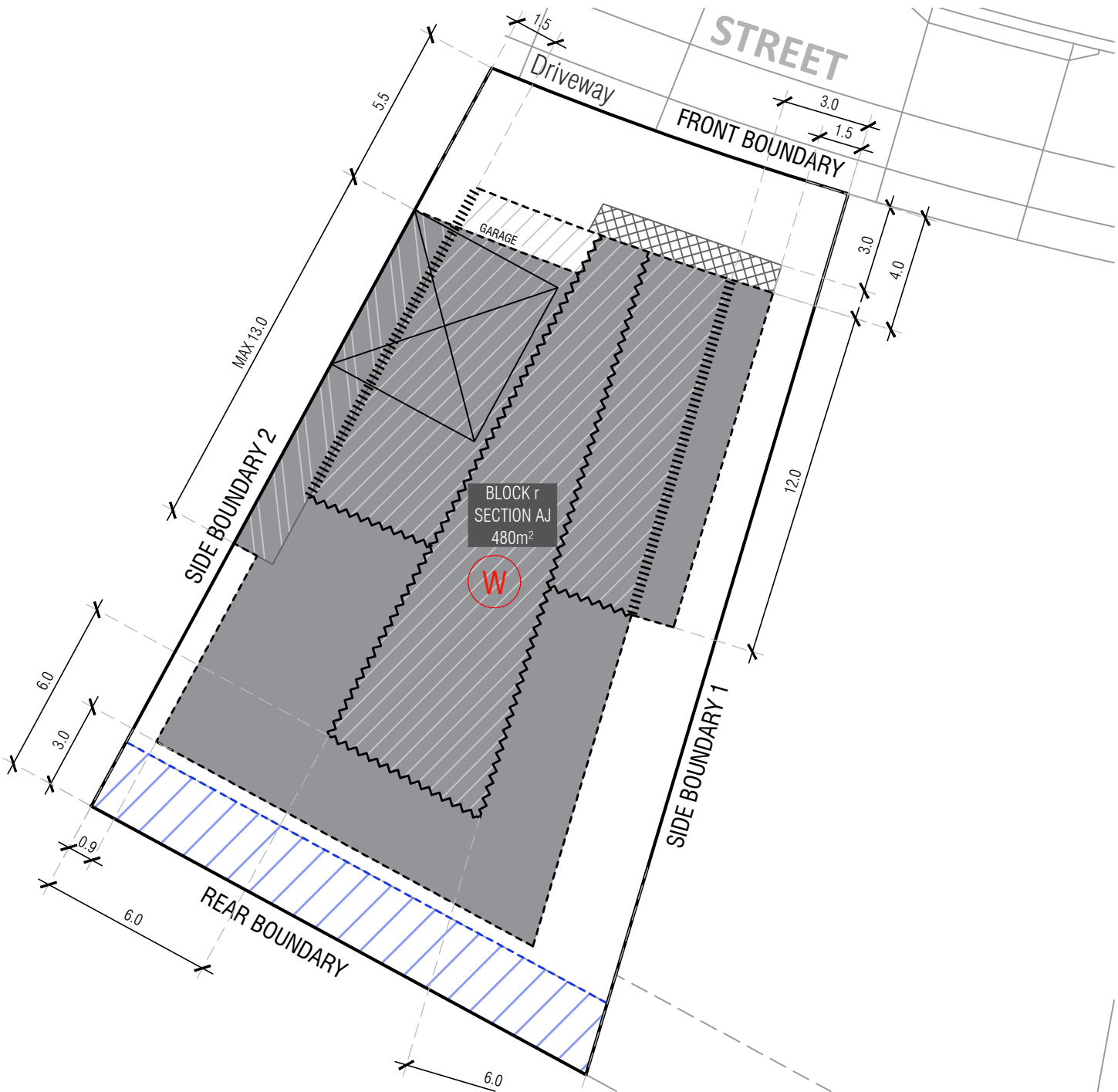
REV	DRAWN	CHECKED	APPROVED	DATE
D	DZ	DZ	CS	01/05/23

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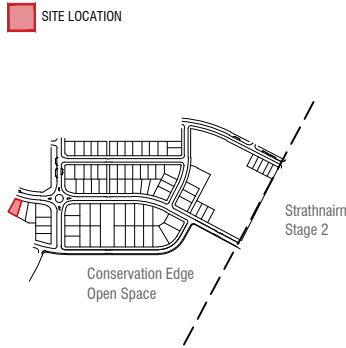
SCALE
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Ginninderry
BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN



KEY MAP



LEGEND

- Block Boundary
 - Garage Location
 - Boundary Defined by SDHDC
 - Easement
 - Water tank requirements
- | BLOCK SIZE (M ²) | MANDATORY MINIMUM TANK SIZE (L) |
|------------------------------|---------------------------------|
| 251 ≤ 350 | 2,000 |
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| > 801 | 10,000 |

INDICATIVE BUILDING FOOTPRINTS

(based on min. building setbacks. This does not take into account plot ratio or building envelopes)

- Lower Floor Level
- Upper Floor Level

MINIMUM BOUNDARY SETBACKS

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- Upper Floor Level - Side and Rear Boundary - Screened
- Upper Floor Level - Side and Rear Boundary Unscreened

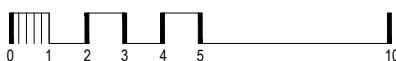
BLOCK INFORMATION

STAGE	1A
ZONE	RZ1
SECTION	AJ
BLOCK	r
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

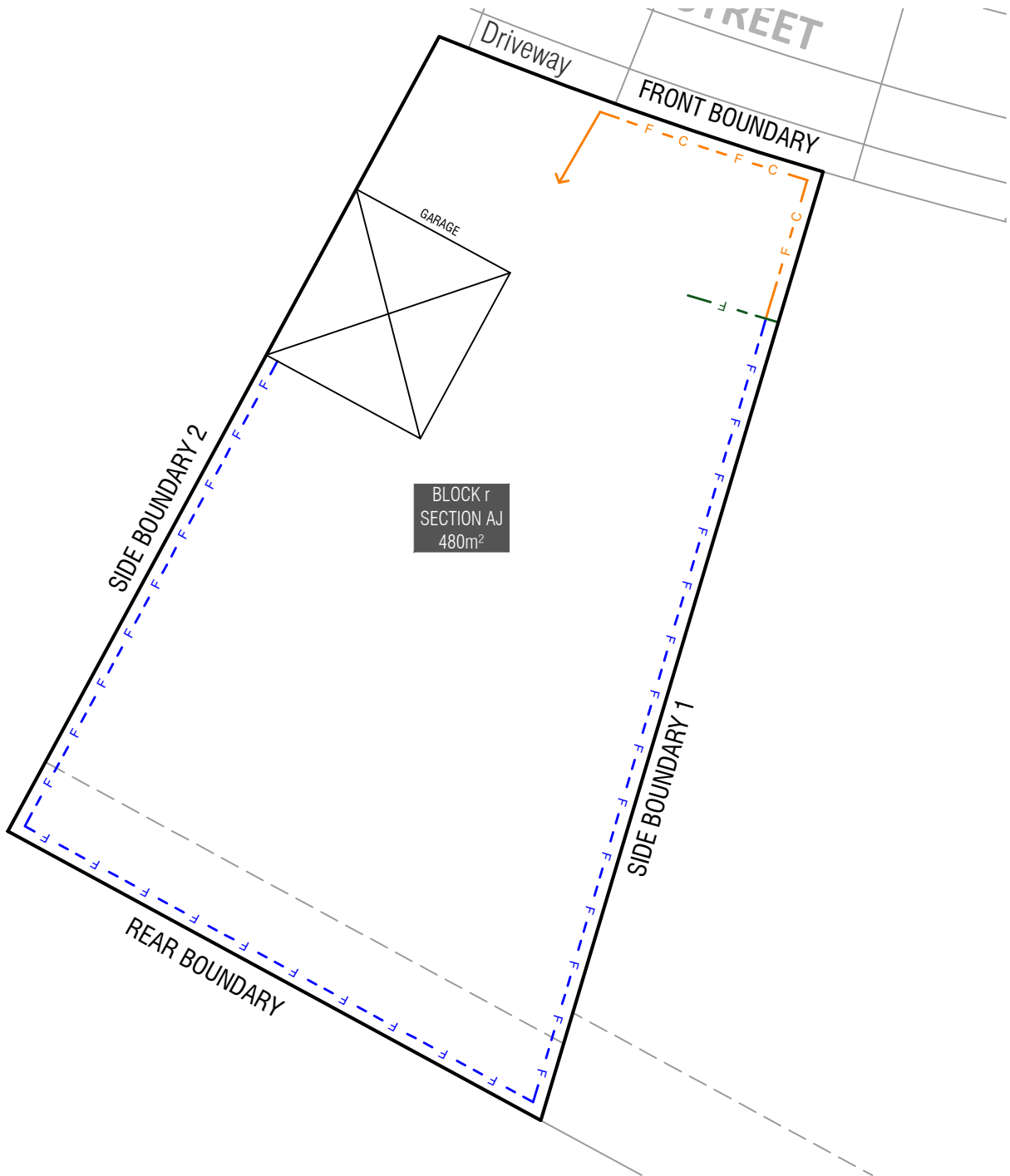
REV	DRAWN	CHECKED	APPROVED	DATE
B	8N	DZ	CS	18/04/23

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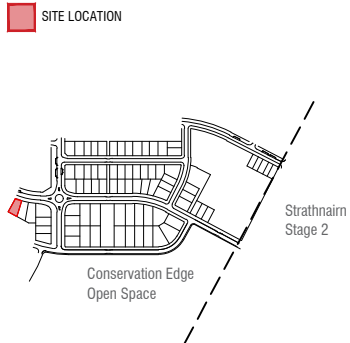
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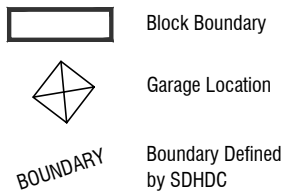
Ginninderry
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



KEY MAP



LEGEND



BOUNDARY FENCING

- Side, Rear Fencing**
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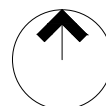
BLOCK INFORMATION

STAGE	1A
ZONE	RZ1
SECTION	AJ
BLOCK	r
CLASSIFICATION	MID-SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
B	8N	DZ	CS	18/04/23

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SCALE
1:200 @A4



BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN