

Ginninderry ✱

3 May 2023

Information Session

Designing & Building in
Macnamara



Suburban Land
Agency



RIVERVIEW
GROUP



Acknowledgement of Country

We acknowledge the Traditional Custodians of the land upon which we are meeting this evening and pay our respects to Elders past, present and emerging.

Agenda

Welcome & Project Update

Sales & Compliance

Sustainability

Landscaping

Community

Design & Building in Macnamara

Questions

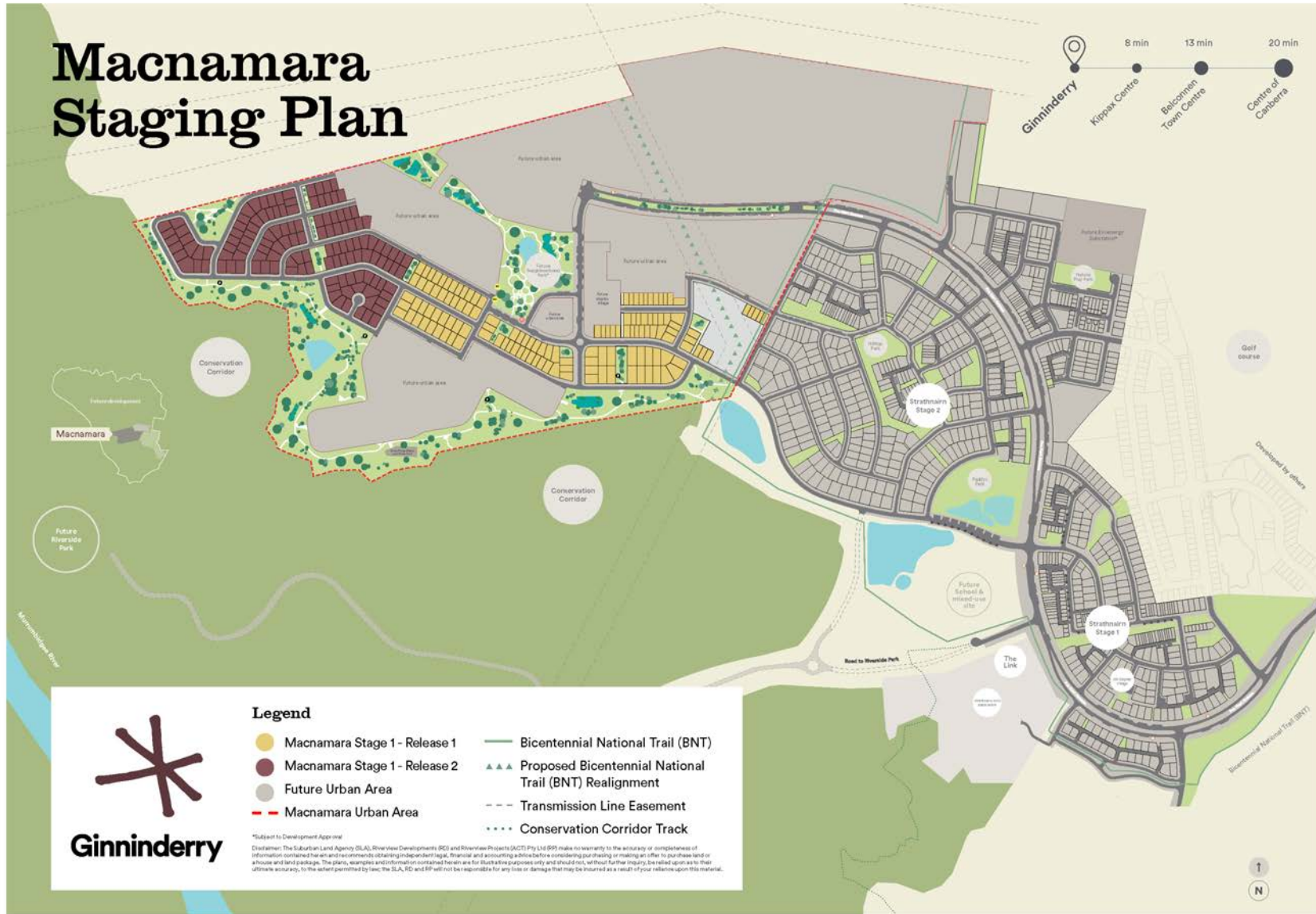
Session Close – 7:30 pm



Imran Khan

Project Update

Macnamara Staging Plan



Legend

- Macnamara Stage 1 - Release 1
- Macnamara Stage 1 - Release 2
- Future Urban Area
- Macnamara Urban Area
- Conservation Corridor Track
- Bicentennial National Trail (BNT)
- ▲▲▲ Proposed Bicentennial National Trail (BNT) Realignment
- Transmission Line Easement

*Subject to Development Approval

Disclaimer: The Suburban Land Agency (SLA), Riverview Developments (RD) and Riverview Projects (ACT) Pty Ltd (RVP) make no warranty to the accuracy or completeness of information contained here and recommends obtaining independent legal, financial and accounting advice before considering purchasing or making an offer to purchase land or a house and land package. The plans, reports and information contained herein are for illustrative purposes only and should not, without further inquiry, be relied upon as to their ultimate accuracy, to the extent permitted by law; the SLA, RD and RVP will not be responsible for any loss or damage that may be incurred as a result of your reliance upon this material.



Construction Update

Stage 1A

Est. from September 2023

Stage 1B

Est. from December 2023

Stage 1D

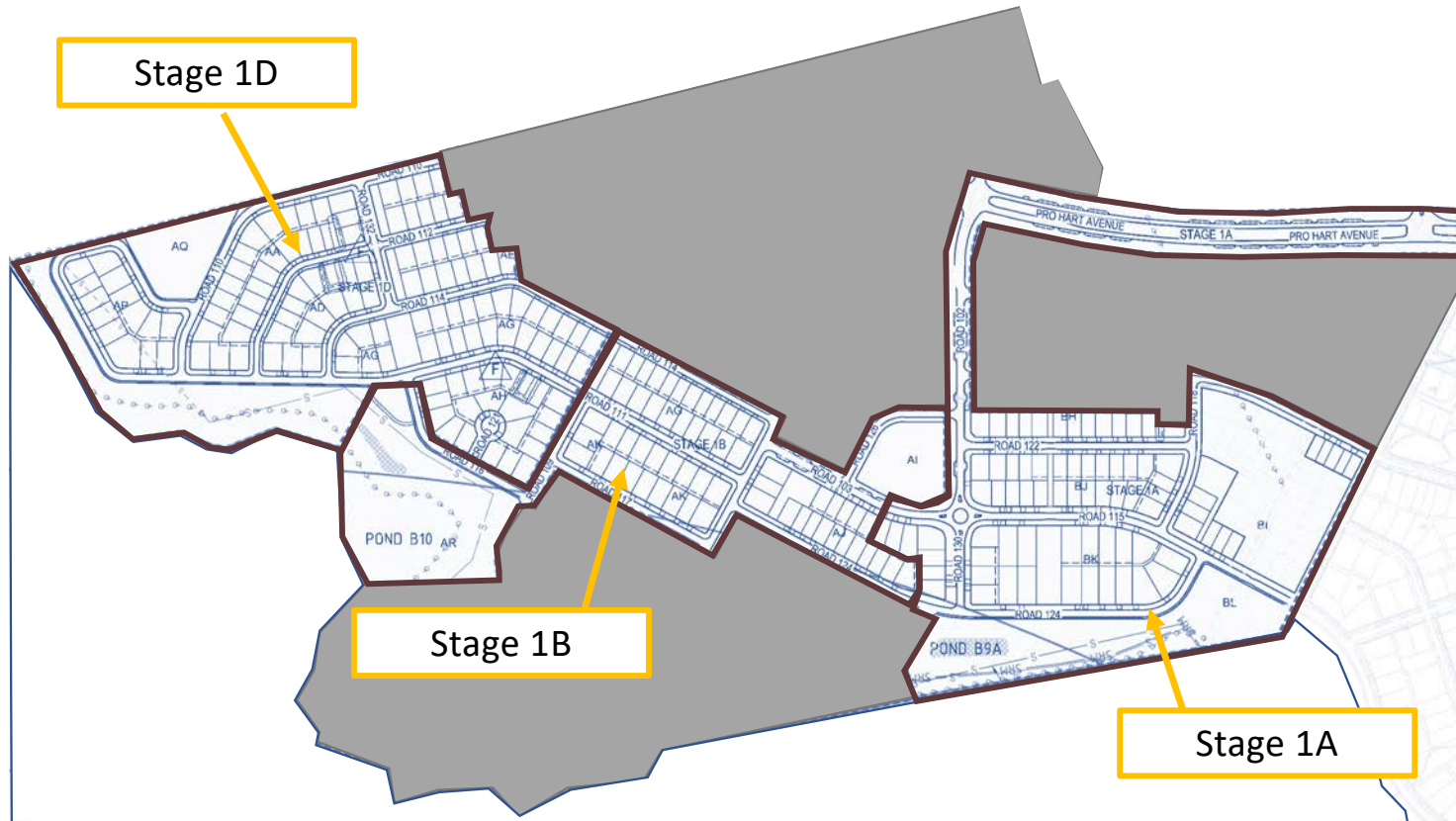
Est. from May 2024



Ginninderry *



Staging Update





Cathy Liu

Sales & Compliance

Sales – What is “Settlement”?

The process of buying a block has two milestones;

1. Exchange

- (You have exchanged already) The point of exchange is when a Contract signed by the purchaser is swapped with an identical Contract signed by the seller and dated. The deposit is paid at exchange.

2. Settlement.

- (Or completion) is the point where you provide the balance of the price for the land and the seller transfers the land to you
- Getting your design work done before settlement means you can start building as soon as possible after settlement.



Compliance – Process

Pre-Design Phase

Read and understand all mandatory requirements

Pay your compliance bond at settlement

Provide these requirements and technical information to your builder/designer

Select your builder/architect and design your home

Design Approval Phase

Fill out your Ginninderry Design Application Form

Submit Form along with all required plans and documentation

Ginninderry Design Assessment

<input checked="" type="checkbox"/> Ginninderry Design Approval and stamped plans issued.	<input checked="" type="checkbox"/> If Non-Compliant Comments Issued to guide re-submission
---	---

Submit your stamped plans for Building Approval or Development Approval (as appropriate)

Construction Phase

Build your home

Notify Ginninderry of any changes to your designs or appliance selections

Fill out and submit a Landscape Application Form

Compliance Phase

Achieve Certification of Occupancy

Fill out a Compliance Bond Refund Form

Compliance Inspection Conducted

<input checked="" type="checkbox"/> Compliance Achieved and Bond Returned	<input checked="" type="checkbox"/> Non-Compliant Comments Issued to help rectify	<input type="checkbox"/> If still non-compliant Bond will be retained
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Front Landscaping Package Completed for compliant dwellings only.

All forms must be sent to Designs@Ginninderry.com

Ginninderry*



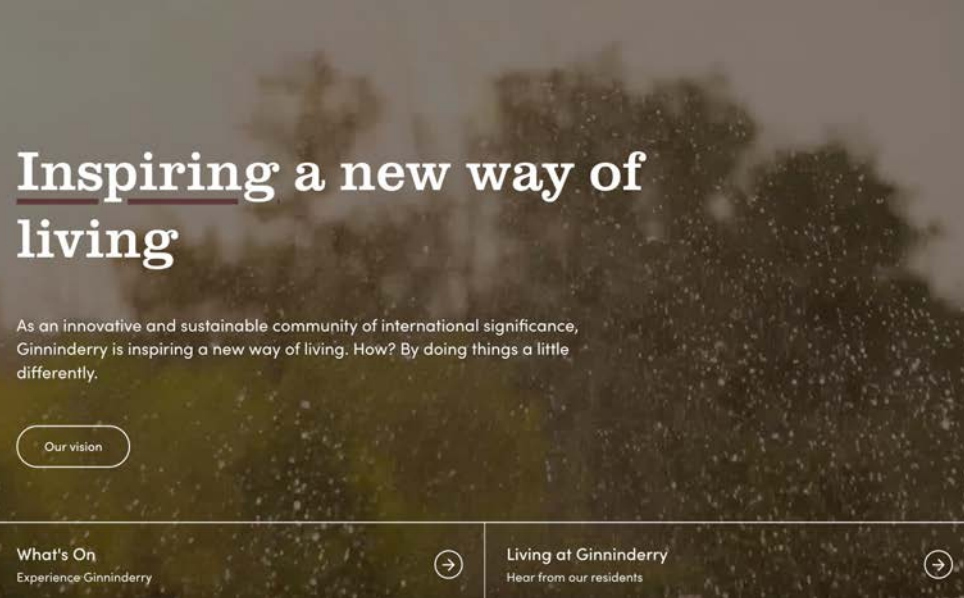
Compliance – Where to look?

Ginninderry*

- Buying
- Building
- Living
- Our Vision
- GX Display Village
- SPARK
- News & Insights
- Inspire Magazine
- What's On
- Contact
- Q Search

Subscribe

My Ginninderry
Resource Centre



Inspiring a new way of living

As an innovative and sustainable community of international significance, Ginninderry is inspiring a new way of living. How? By doing things a little differently.

[Our vision](#)

[What's On](#)
Experience Ginninderry

[Living at Ginninderry](#)
Hear from our residents

Ginninderry*



Inspiring a new way of living

As an innovative and sustainable community of international significance, Ginninderry is inspiring a new way of living. How? By doing things a little differently.

[Our vision](#)

Ginninderry*





Jessica Stewart

Sustainability

2.0	Efficient Home Design										
2.1	Thermal Performance										
2.1.1	Your home must achieve a minimum 7 star NatHERS Rating and 7.5 stars if a merit based approval is proposed.										
2.2	Home Energy Systems										
2.2.1	The following minimum solar (PV) system size requirements apply: <table border="1"> <tr> <th>Block size (m²)</th> <th>Minimum PV size (kW)</th> </tr> <tr> <td>≤ 250</td> <td>2</td> </tr> <tr> <td>251 ≤ 350</td> <td>3</td> </tr> <tr> <td>351 ≤ 500</td> <td>4</td> </tr> <tr> <td>> 500</td> <td>5</td> </tr> </table> <p>Streetscape Plus Blocks (MU2) can elect whether to provide one single PV system or divide across dwellings.</p>	Block size (m ²)	Minimum PV size (kW)	≤ 250	2	251 ≤ 350	3	351 ≤ 500	4	> 500	5
Block size (m ²)	Minimum PV size (kW)										
≤ 250	2										
251 ≤ 350	3										
351 ≤ 500	4										
> 500	5										
2.2.2	One of the following approved home energy management systems must be installed and commissioned: <ul style="list-style-type: none"> • Evergen • Reposit (only available if installing a solar battery) 										
2.2.3	Your solar inverter must be compatible with the home energy management system selected above.										
2.3	Hot Water Systems										
2.3.1	A solar or heat pump hot water system must be installed. Instantaneous or gas hot water systems are not permitted.										
2.3.2	Hot water systems must have a temperature application range appropriate for the Canberra Climate including operation with outdoor air temperatures of as low as -5°C.										
2.4	Heating and Cooling Systems										
2.4.1	If installed Reverse Cycle Air Conditioning Systems must have the following specifications: <ul style="list-style-type: none"> • Energy Efficiency Ratio (EER) of ≥ 3.1 for the cooling cycle • Coefficient of Performance (COP) of ≥ 3.5 for the heating cycle • Sound Pressure Level (SPL) of outdoor unit of ≤ 57dB for both heating and cooling cycle • Able to operate with outdoor air temperatures of -10°C (heating) and 45 °C (cooling) 										
2.4.2	If installed solid fuel heaters (eg. slow combustion wood heaters) must have an overall efficiency standard of not less than 65% and an emission standard of not greater than 1g/1kg.										

2.5	Rainwater Tanks and Water Saving												
2.5.1	The following minimum size requirements apply: <table border="1"> <tr> <th>Block Size (m²)</th> <th>Minimum Tank Size (L)</th> </tr> <tr> <td>≤ 250</td> <td>no minimum requirement</td> </tr> <tr> <td>251 ≤ 350</td> <td>2,000</td> </tr> <tr> <td>351 ≤ 599</td> <td>4,000</td> </tr> <tr> <td>600 ≤ 800</td> <td>8,000</td> </tr> <tr> <td>≥ 801</td> <td>10,000</td> </tr> </table>	Block Size (m ²)	Minimum Tank Size (L)	≤ 250	no minimum requirement	251 ≤ 350	2,000	351 ≤ 599	4,000	600 ≤ 800	8,000	≥ 801	10,000
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≤ 250	no minimum requirement												
251 ≤ 350	2,000												
351 ≤ 599	4,000												
600 ≤ 800	8,000												
≥ 801	10,000												
2.5.2	Rainwater tanks must be connected to at least a toilet, laundry cold water and external taps.												
2.5.3	Water efficient fixtures and fittings must be installed with the following minimum star rating in accordance with the Water Efficiency Labelling and Standards (WELS) Scheme: <ul style="list-style-type: none"> • Showerheads: 3 star with flow rate 9L/min or less • Tapware in kitchen and wet areas: 4 star • Toilets: 4 star 												

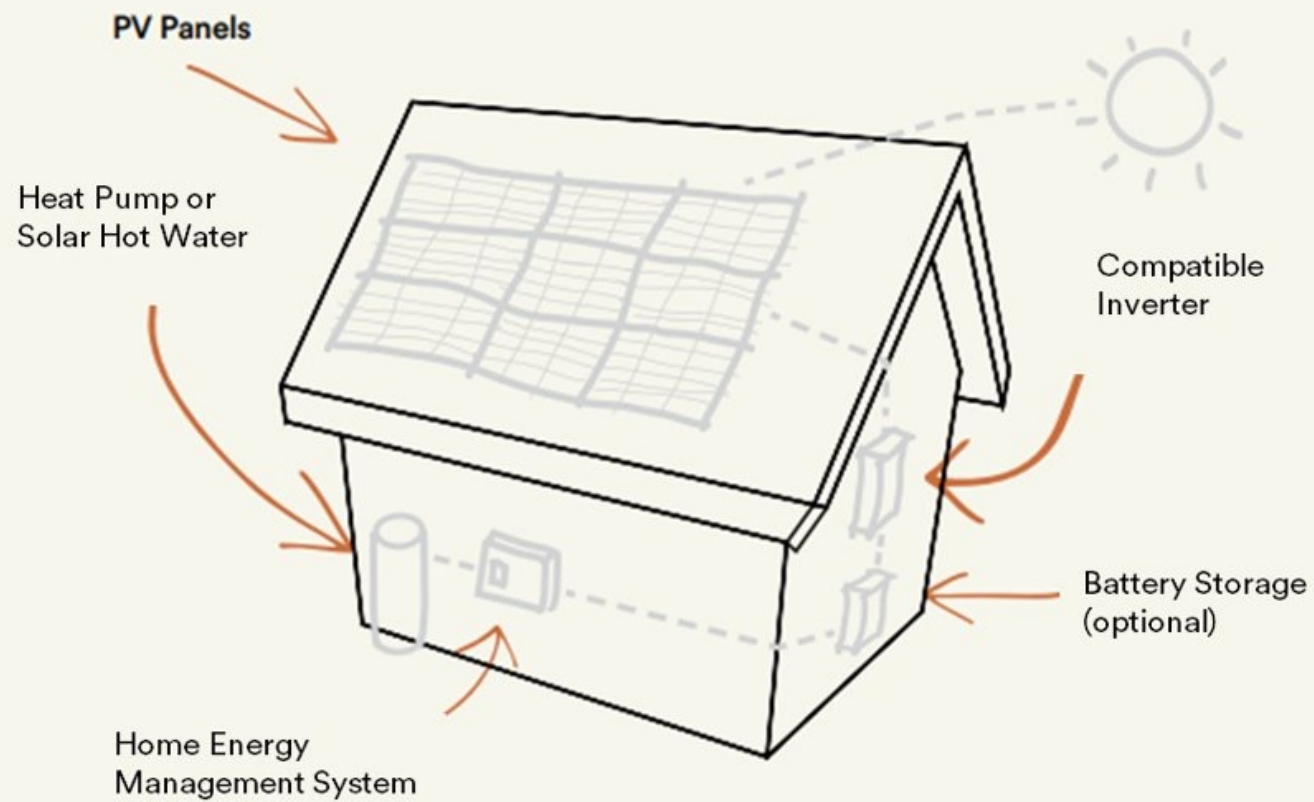
Sustainability Schedule

Minimum Requirements as per element 2.0 Efficient Home Design

<p>Solar PV Array</p> <p>Size (kW) <input type="text"/></p> <p>Home Energy Management System <input type="text" value="Evergen"/> <input type="text" value="Reposit (battery only)"/></p> <p>Inverter: <input type="text"/></p> <p>Brand <input type="text"/></p> <p>Model No. <input type="text"/></p> <p>Battery (optional):</p> <p>Brand <input type="text"/></p> <p>Size (kWh) <input type="text"/></p> <p>Hot Water System:</p> <p><input type="text" value="Solar"/> <input type="text" value="Heat Pump"/></p> <p>Brand <input type="text"/></p> <p>Model No. <input type="text"/></p>	<p>Air Conditioning System (if installed):</p> <p><input type="text" value="RCAC"/> <input type="text" value="Other, please specify"/></p> <p>Brand <input type="text"/></p> <p>Indoor Model No. <input type="text"/></p> <p>Outdoor Model No. <input type="text"/></p> <p>Rainwater Tank:</p> <p>Size (L) <input type="text"/></p> <p><input type="checkbox"/> Connected to at least a toilet, laundry cold water and external taps</p> <p>Water Fixtures:</p> <table border="1"> <thead> <tr> <th>Room</th> <th>Type</th> <th>Star Rating</th> </tr> </thead> <tbody> <tr> <td>Eg. Kitchen</td> <td>Eg. Sink mixer</td> <td>Eg. 4 Star</td> </tr> <tr> <td>Bath 1</td> <td>Showerhead</td> <td>3 Star</td> </tr> <tr> <td><input type="text"/></td> <td><input type="text"/></td> <td><input type="text"/></td> </tr> <tr> <td><input type="text"/></td> <td><input type="text"/></td> <td><input type="text"/></td> </tr> </tbody> </table> <p>Please complete or provide equivalent selection list (must clearly show star rating)</p>	Room	Type	Star Rating	Eg. Kitchen	Eg. Sink mixer	Eg. 4 Star	Bath 1	Showerhead	3 Star	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Room	Type	Star Rating														
Eg. Kitchen	Eg. Sink mixer	Eg. 4 Star														
Bath 1	Showerhead	3 Star														
<input type="text"/>	<input type="text"/>	<input type="text"/>														
<input type="text"/>	<input type="text"/>	<input type="text"/>														



All-Electric Homes Powered by Renewables





Matthew Frawley

Landscaping

Conditions of Front Landscaping

- You have achieved home compliance from Ginninderry's Compliance Officer.
- Any damage to the surrounding verges, street trees, footpath, services and adjoining land caused by the construction of your home must be rectified to the satisfaction of Ginninderry's Compliance Officer and/or Surveillance Officer.
- All waste in the front garden on the public verge and adjoining lands has been removed.
- A Front Landscaping Application Form has been submitted and the front landscaping design has been agreed with the Ginninderry nominated landscape company.
- The homeowner needs to have turfed or have an agreement to turf the street verge.

5.0	Front Landscaping and Verge Treatments
5.1	Ginninderry will provide a front landscape package for compliant dwellings only.
5.2	The front verge is required to be turfed upon completion of the dwelling.
5.3	The use of synthetic grass is not permitted to any area forward of the building line.
5.4	The use of gravels, pebbles, tanbark, paving or concrete is not permitted on any verges.

Part 7 Front Landscaping Application Form

Front Landscaping Application Form

Property details

Block

Section

Block size

Suburb

Purchaser details

Name

Phone

Mobile

Email

Application date

Anticipated move in date

Preferred start date

Preferred finishes & plants*

Required documents

1. Front Landscaping Application Form

2. Approved Landscape/Fencing Plan @ 1:200

- All side and rear fencing (refer to PCP's for each block)
- All courtyard walls
- Mail box type, material and location
- Extent of all retaining walls
- Area schedule of soft planting zone / canopy cover / paved or non-permeable areas
- Services and easements
- Finished floor levels for the house and garage as well as gradient of driveway

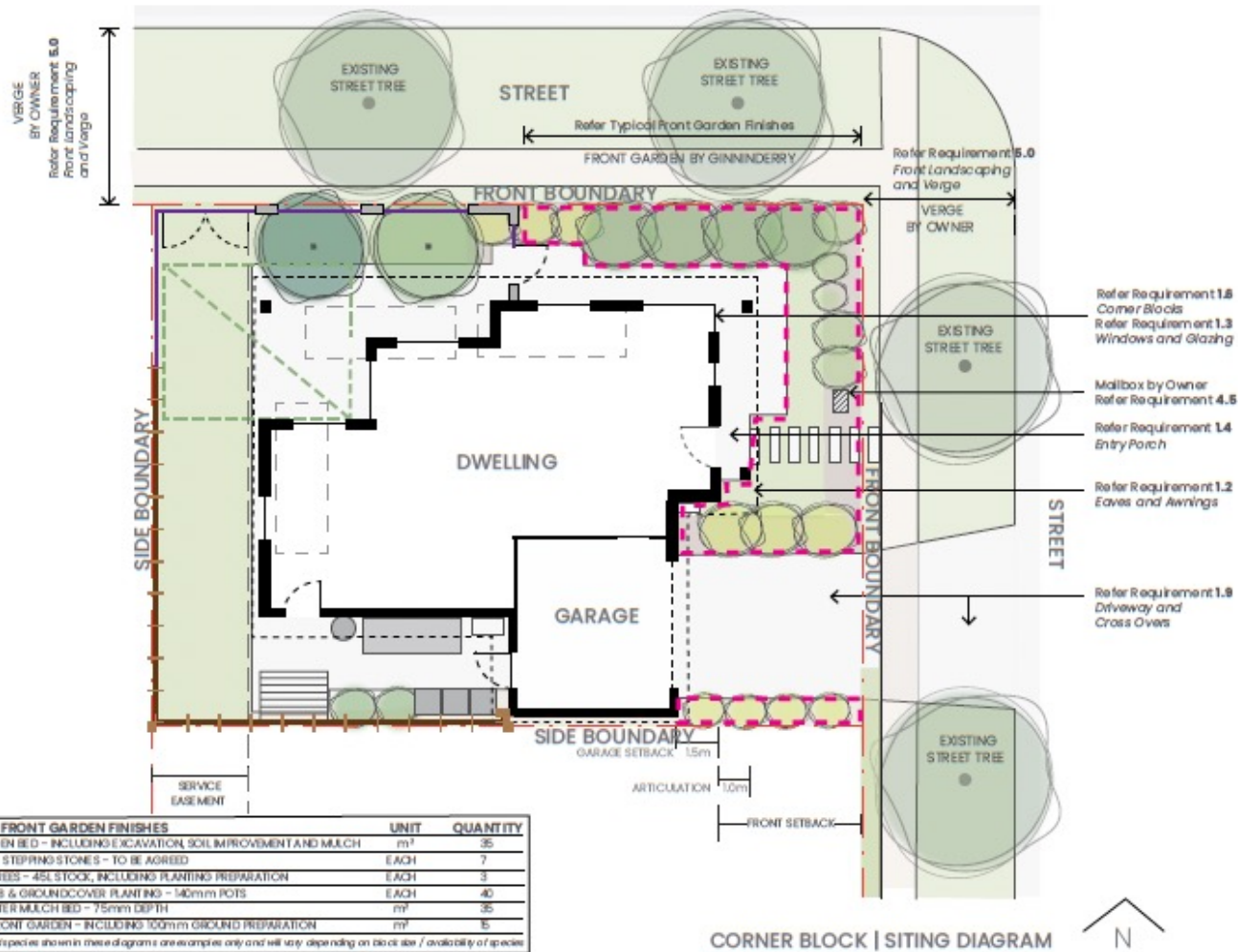
Please note:

1. Following receipt of your application a representative from a Ginninderry nominated landscape company will organise a consultation and develop a landscape plan for your front garden
2. Typical front garden finishes are indicated on the example block plan diagrams within Part 1 of the Ginninderry Housing Design Requirements.
3. We are unable to assess your application until we receive all required documents.
4. The front landscape offer covers soft landscaping works only.
5. Submit this form up to 12 weeks before your anticipated move in date.
6. Typical native, exotic and edible plant species suitable for use at Ginninderry are available. Refer to Building Resources on the website for more information.
7. We will provide a minimum of 2 trees in the landscape package

*Subject to availability

Housing Design Requirements (Macnamara) 45





Ginninderry*





Tulitha King & Marcus Mills-Smith

Community



Quarterly Newsletter

Monthly Emails

'Ginninderry Locals' Facebook Group

600
homes

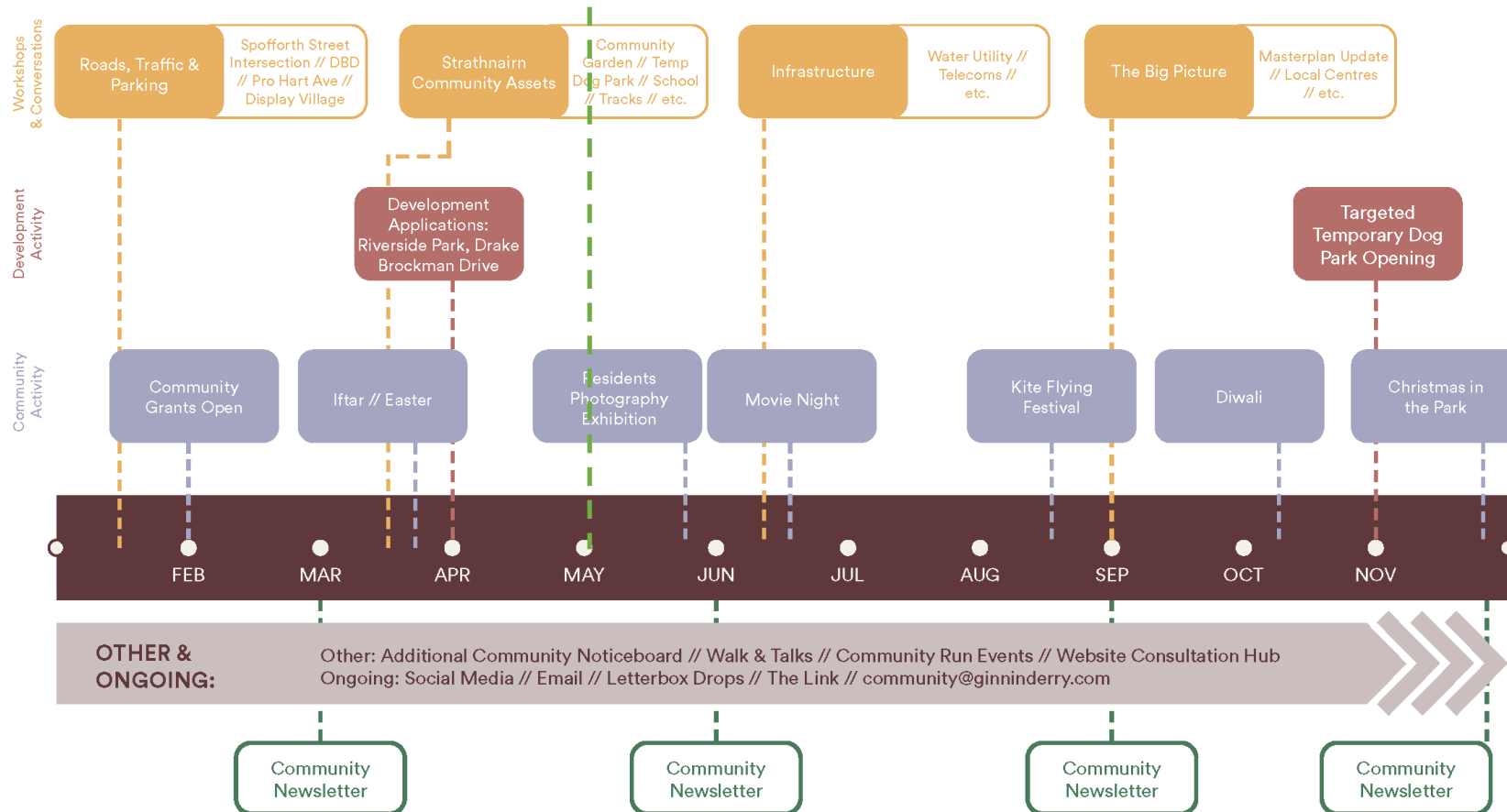
1600
residents

12-Month Community Program



(DRAFT) Version 3 - March 2023

All projects and/or programs noted are subject to many variables, so timelines may change.





Johnathan Drury

Design & Building in Macnamara

Why start now?



- Designing a home is an exciting process that requires significant time and consideration.
- You want your new home design to offer the best solution for taking advantage of your site's assets.



Start with a simple design brief

- Simple clear information is better than 1000 ideas.
- Establish a construction budget \$.
- How many bedrooms?
- How many bathrooms? / 1 ensuite ?
- Guest room?
- Kitchen / Pantry – walk in pantry
- Laundry
- Open plan? – Living / meals / kitchen / study nook
- Separate Media?
- Connection to outdoor areas
- Double garage +Storage
- Any garden sheds / raised planting areas



Why start now?

- Finding the right builder is important. The best place to start is with one of Ginninderry's partner builders who usually have designers they are familiar working with. You can of course select your own designer.
- Your builder needs a reasonable level of documentation and specifications to accurately establish the cost of the project which may include the following;
- Site plan / Floor plans / Roof plan / Elevations / sections / Internal finishes / Lighting Electrical
- External finishes / Heating cooling / Retaining walls / Courtyard walls / Fencing / Soft landscaping



What needs to be considered?

- Slope of the land
- Orientation and sunlight
- Views and natural beauty
- Home size and features
- Rules and regulations
- Documentation and approvals
- Build and landscaping cost/budget



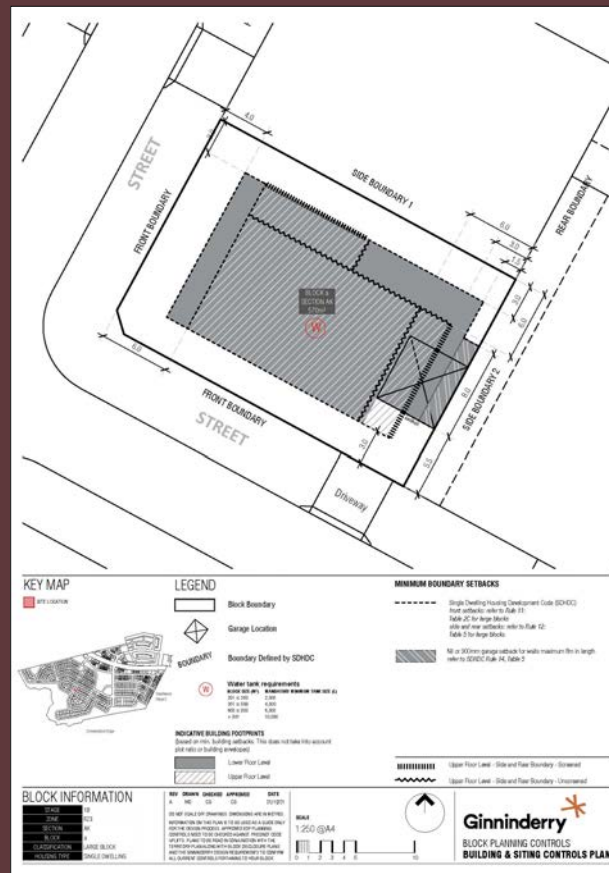
Site information for Designing

Ginninderry provide a number of documents to assist you in designing a home for your block.

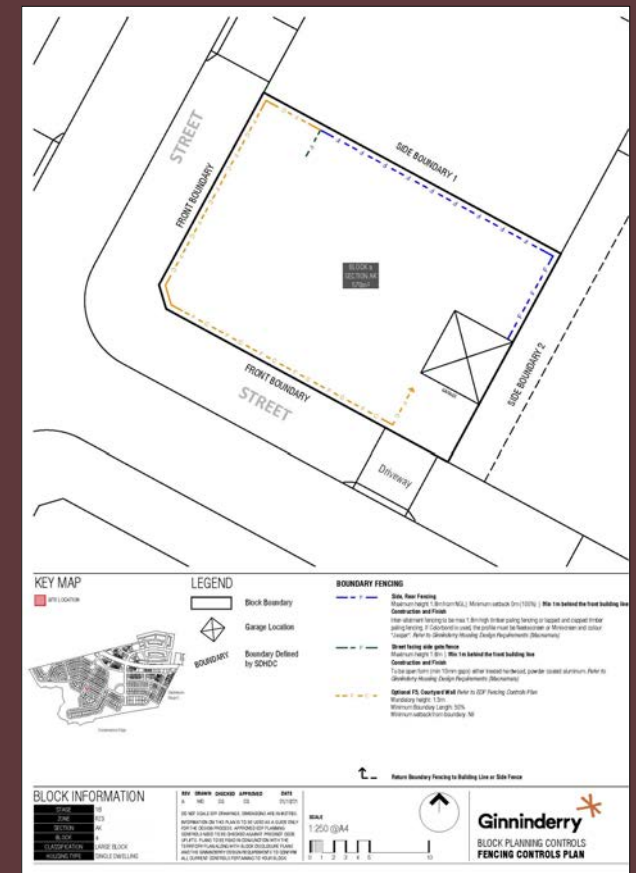
Block Disclosure Plan



Planning Controls Plan



Fencing Controls Plan



Ginninderry Housing Design Requirements - Macnamara

Ginninderry Housing Design Requirements

Single Dwelling Homes
Duplex Blocks
MU2/Streetscape Plus Blocks
Macnamara

Version 1.3 | June 2022



Part 3

Part 3: Design and Compliance Requirements

The Design Requirement criteria below will be used to assess your Design Approval. It will also be used by our Compliance Team once you finish construction of your home to enable your Compliance Bond to be returned and your Free Front Landscaping Package to be installed.

DTC = Deemed to Comply		Design Approval	Compliance Approval
		DTC	DTC
1.0	Built Form Mandatory Requirements		
1.1	Roof Design		
1.1.1	Homes must have a roof type that complies with the following: <ul style="list-style-type: none"> Hip Roof with a pitch of ≥ 20 degrees Skillion Roof with a pitch of ≥ 10 degrees OR ≥ 5 degrees if behind a parapet wall Gable Roof with a pitch of ≥ 30 degrees Combinations of complying skillion & parapet roof forms are permissible. Front parapet walls must extend past and conceal any eave or gutter.		
1.1.2	Roof design must consider placement and orientation of solar (PV) panels and roof mounted solar hot water systems (if used).		
1.1.3	Roof coverings must have a solar absorptance rating of ≤ 0.7 and must be selected from the External Colours and Finishes Schedule.		
1.1.4	One single roof colour and material must be used for the whole home.		
1.2	Eaves and Awnings		
1.2.1	Eaves must have a minimum depth of 600mm on all street-facing façades and north-facing façades. If eaves are not provided on these façades, an awning or sunhood of equal depth is required and must extend along the entire width of any windows. Eaves depth measured from outer face of cladding or masonry.		
1.2.2	Windows to any conditioned room with no eaves must have an awning or sunhood with a minimum depth of 300mm which extends along the entire width of the window such as laundries, WC or storage areas.		
1.2.3	Windows to any non-conditioned rooms may be excluded from having eaves, awnings or sunhoods.		
1.3	Windows and Glazing		
1.3.1	Windows to primary street frontages must be more vertical in proportion than horizontal. This includes any sliding door unit. Horizontal slot windows for kitchens or bedrooms may be permitted on merit.		

8 Housing Design Requirements (Macnamara)

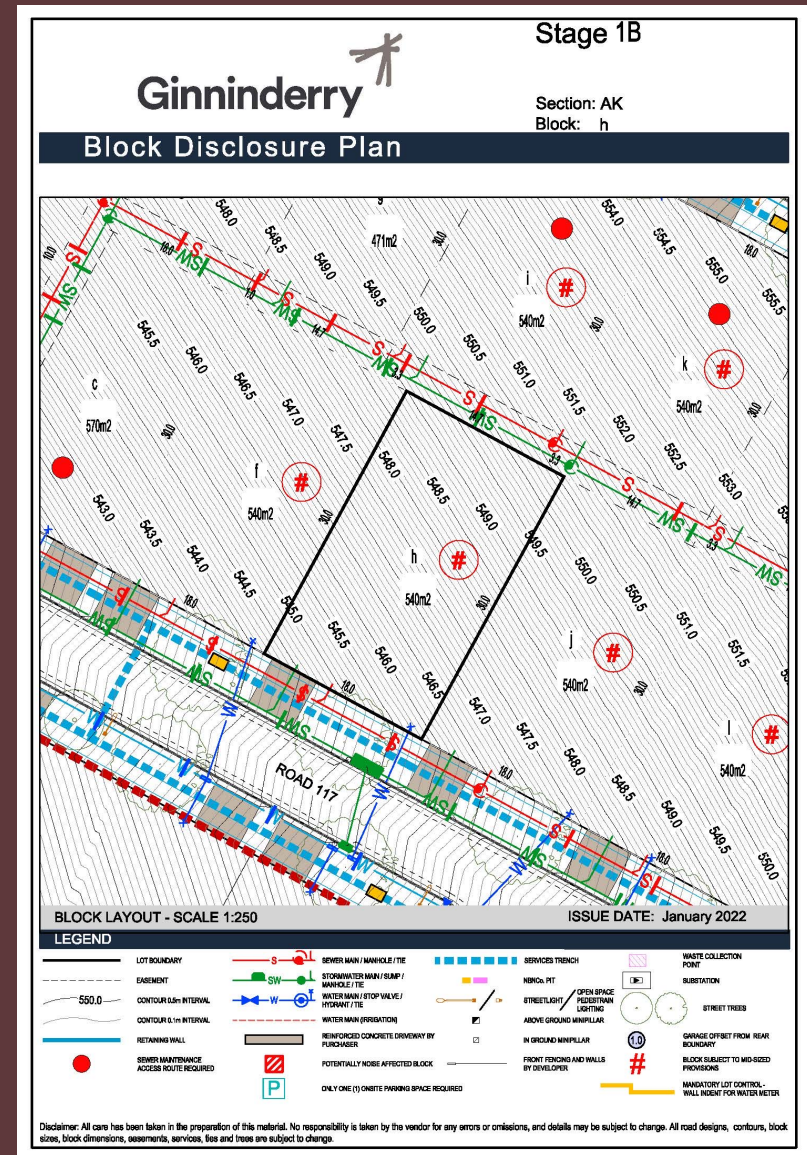
Design and Compliance Requirements

		Design Approval	Compliance approval
		DTC	DTC
1.4	Entry Porch		
1.4.1	The front door of each dwelling must be clearly visible from a public street or laneway. For block frontages of 14.0m or less entries to the side of the home may be considered on Architectural Merit such as Articulation, façade material use and surveillance to the street.		
1.4.2	An entry porch or covered entry is mandatory for all homes. The covering must not be more than 3.0m above the entries finished ground level.		
1.4.3	Entry porches must have a minimum footprint dimension of 2.0m x 1.5m.		
1.4.4	Masonry elements and any masonry piers must terminate a minimum of 450mm from the soffit or gutter line to reduce bulk. Tied and stackstone style applied elements are not permitted to entry porches or front façades.		
1.4.5	Entry Posts shall be made of timber or steel and be a minimum of 150mm x 150mm. Posts are permitted within masonry piers or as stand alone elements.		
1.5	External Façade Elements		
1.5.1	Reproduction styles or historical Architectural styles will not be permitted.		
1.5.2	A street-facing façade for each home must include a minimum of two complementary materials and/or finishes from the following: <ul style="list-style-type: none"> Brick - smooth face (chosen from the External Colours and Finishes Schedule) Masonry - painted, rendered or bagged finish Foam cladding - rendered and painted Metal wall cladding - pre-finished Fibre cement sheeting - painted or rendered Hardwood cladding Plywood cladding - stained or painted 		
1.5.3	Façade treatments must be used in genuine proportions and balance the entire façade. Isolated token uses of materials or single usage of a material will not be accepted.		
1.5.4	Façade articulation must be provided in the design using wall offsets and projections including features such as blade walls, bay windows, shading and awning elements.		
1.5.5	Rooms fronting the street should primarily be habitable (ie. living rooms, lounge rooms, bedrooms, study) to provide a direct visual connection with the street through the use of windows.		
1.5.6	Façade colours including roof, wall, cladding, window frames, entry doors, garage doors, blades walls, piers and posts must be selected from the External Colours and Finishes Schedule.		
1.5.7	Conservation Edge lots require a covered verandah with a minimum depth of 1.8m. The verandah must extend to 50% of the façade width and wrap corner blocks. Refer to sales release plan for lot types.		
1.6	Corner Blocks		
1.6.1	Corner block homes must address both street, laneway or any open space frontages.		
1.6.2	House designs on corner blocks must incorporate one of the following: <ul style="list-style-type: none"> extension of the entry porch to incorporate a verandah to wrap the corner wrap-around corner windows wrap-around decking wrap-around balcony 		

Housing Design Requirements (Macnamara) 9

Sloping Land

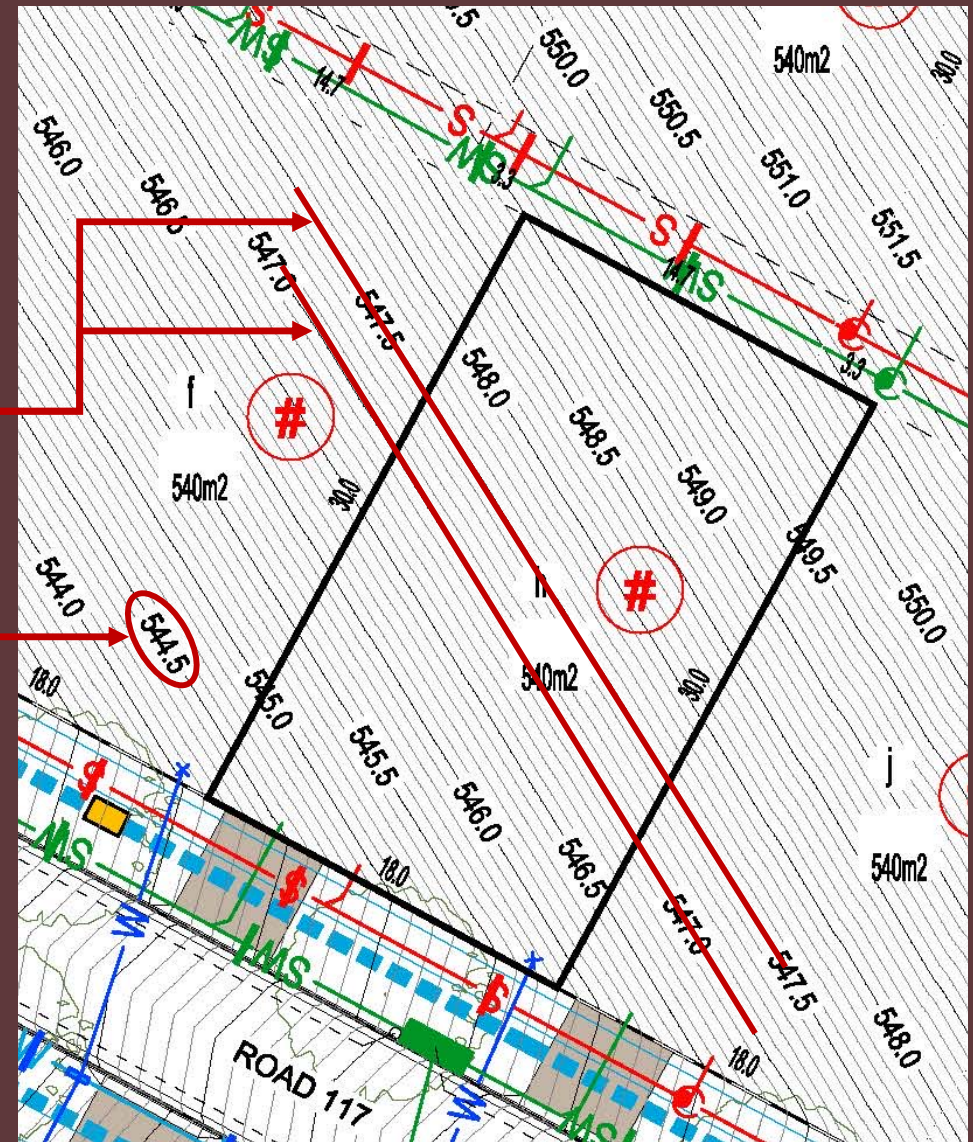
- The slope of your land will impact what type of home you build on your block.
- Ginninderry's Block Disclosure Plan shows you:
 - Contours of the land (Slope)
 - Boundary lengths
 - Easements on the block
 - Service locations
 - Driveway location
 - Trees / footpath / road / verge



Reading your Contours

Contour lines indicating height at 100mm intervals

Contour level in metres



Calculating Slope

Highest contour level

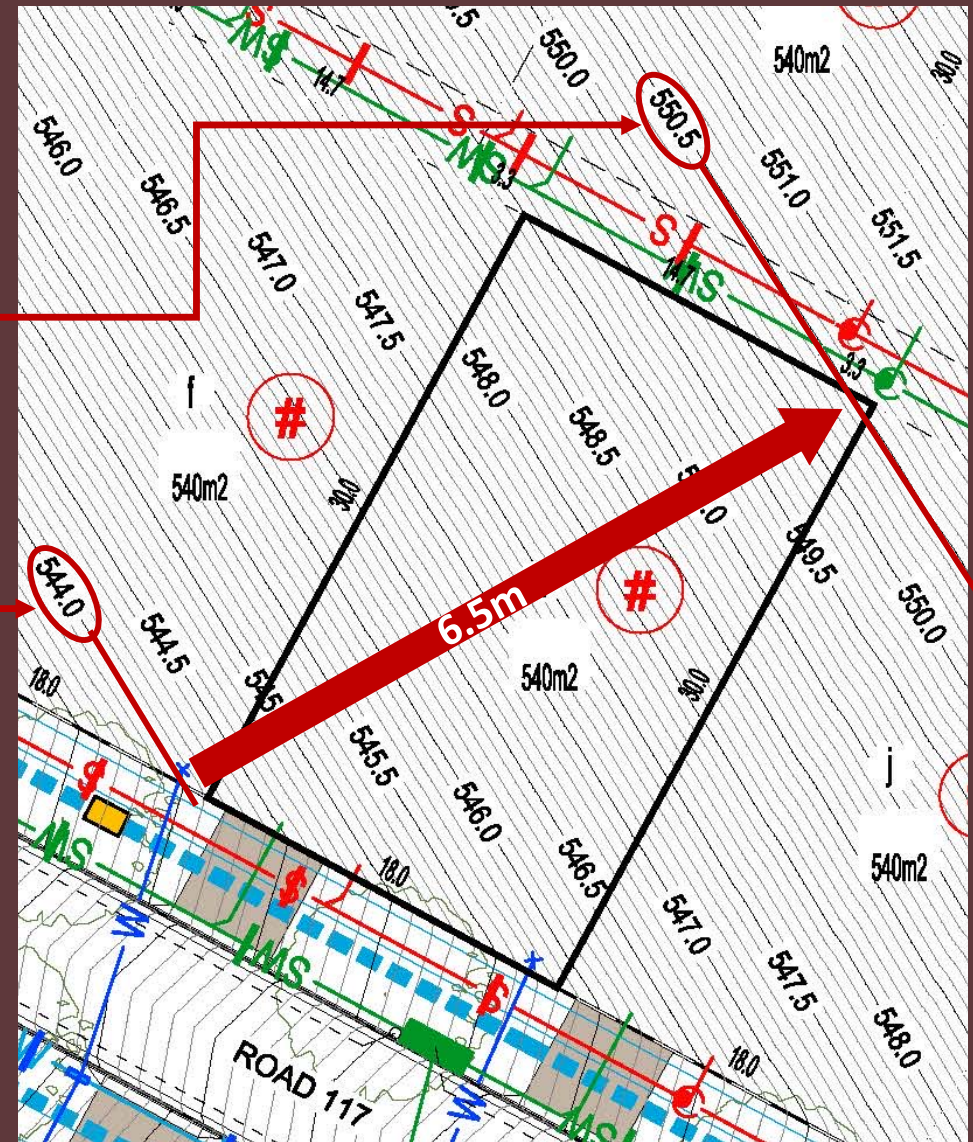
Lowest contour level

Highest 550.5m

Lowest - 544.0m

6.5m

6.5 metres of slope
upwards from the street



Designing for Slope

- Building on a sloping site can present some challenges and opportunities to the design of the home.
- In Macnamara blocks with greater than 2.0m of slope must incorporate a “split level” design.

Features of a split-level home:

- Architecturally unique design
- Comfort indoors and outdoors year round
- Ample natural light and sunlight access
- Usable and connected outdoor spaces
- Great views
- Integration with the land and natural surroundings

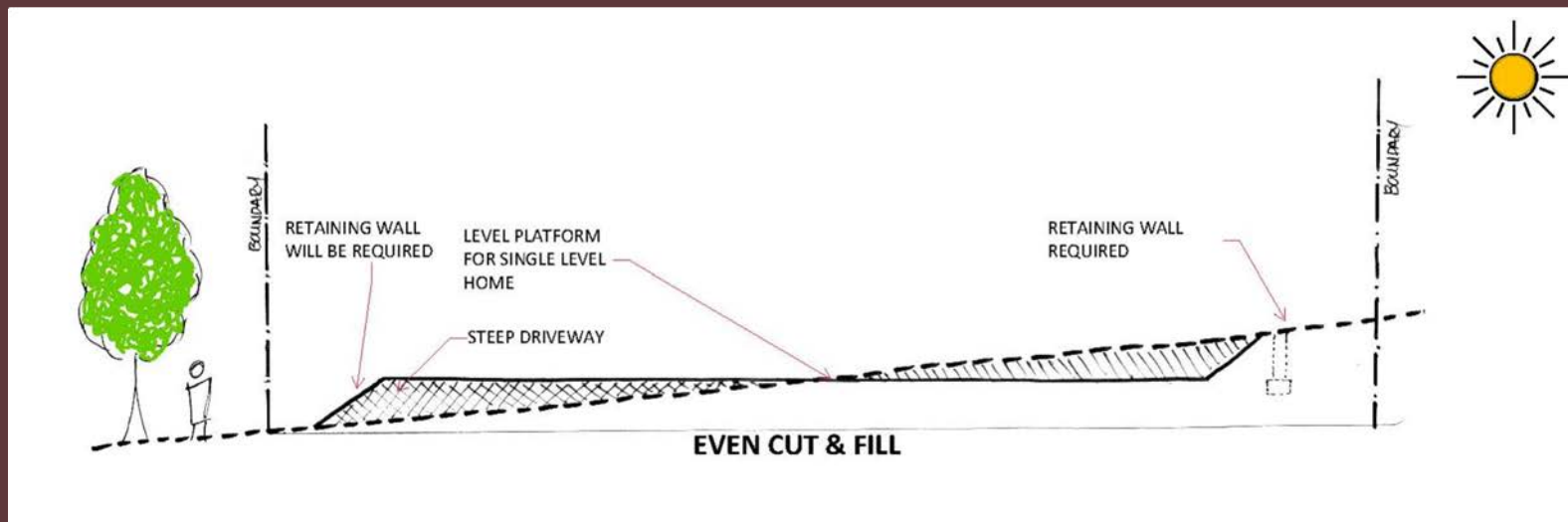


Sloped Site Building Practices

“Cut & Fill” or “Split Level”

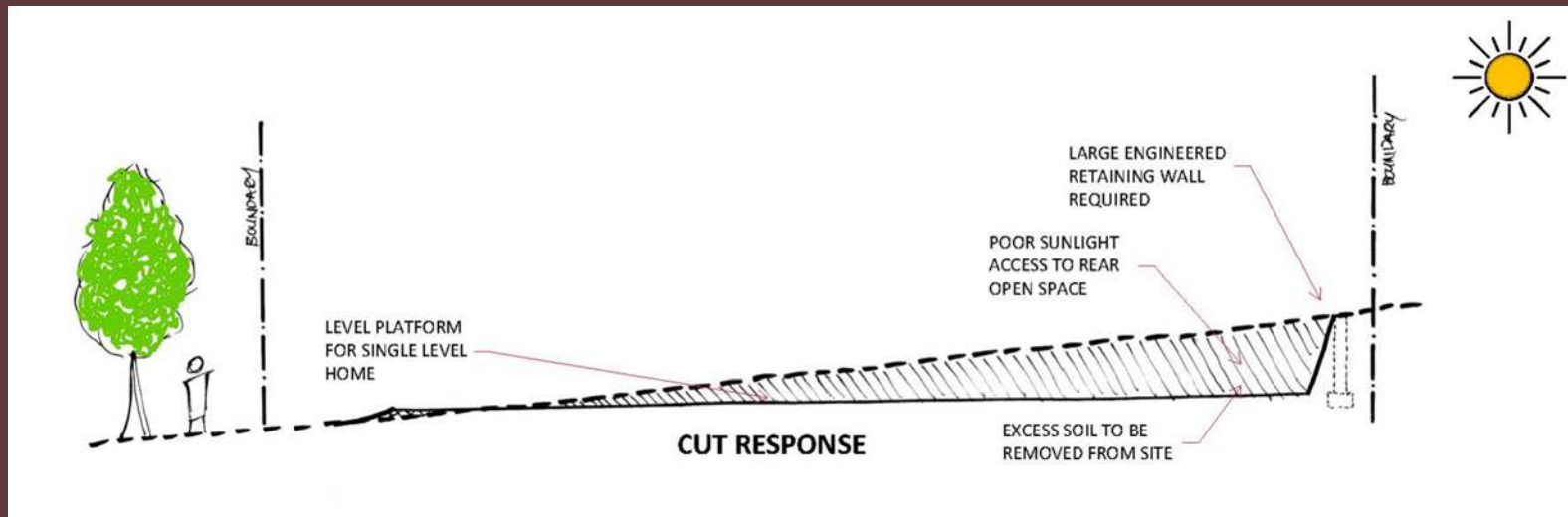
“Cut & Fill” Designs

- Cut and Fill is the process of ‘cutting’ into the high side of a block, removing all the material and replacing it to ‘fill’ the low side of a block.
- This will create a level platform for building a “flat” single level home.



Excessive “Cut”

- On steeper land, designs with more “cut” than “fill” may be proposed to achieve a level building platform.
- Removing excess soil and rock from the site is costly.
- Additionally, to ensure the structural integrity of the remaining land, retaining walls are required, often high, very close to the home and at a high cost.



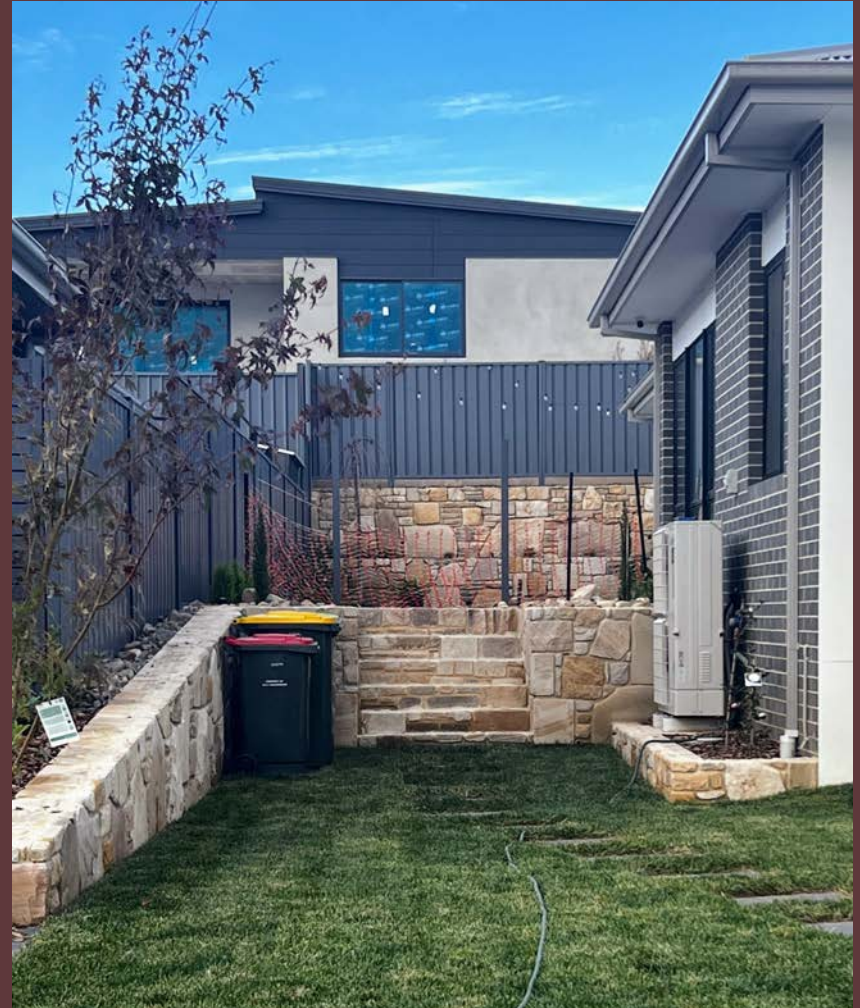
“Cut & Fill” - Outcomes

- “Cut” or “Fill” is often left exposed and unretained at the completion of the home build. This remaining land is unusable until it is correctly retained.
- A structural engineer is required to design retaining walls over 1.0m.
- The owner is responsible for the cost of designing and building retaining walls after the home is complete.
- Unless it is included in your contract



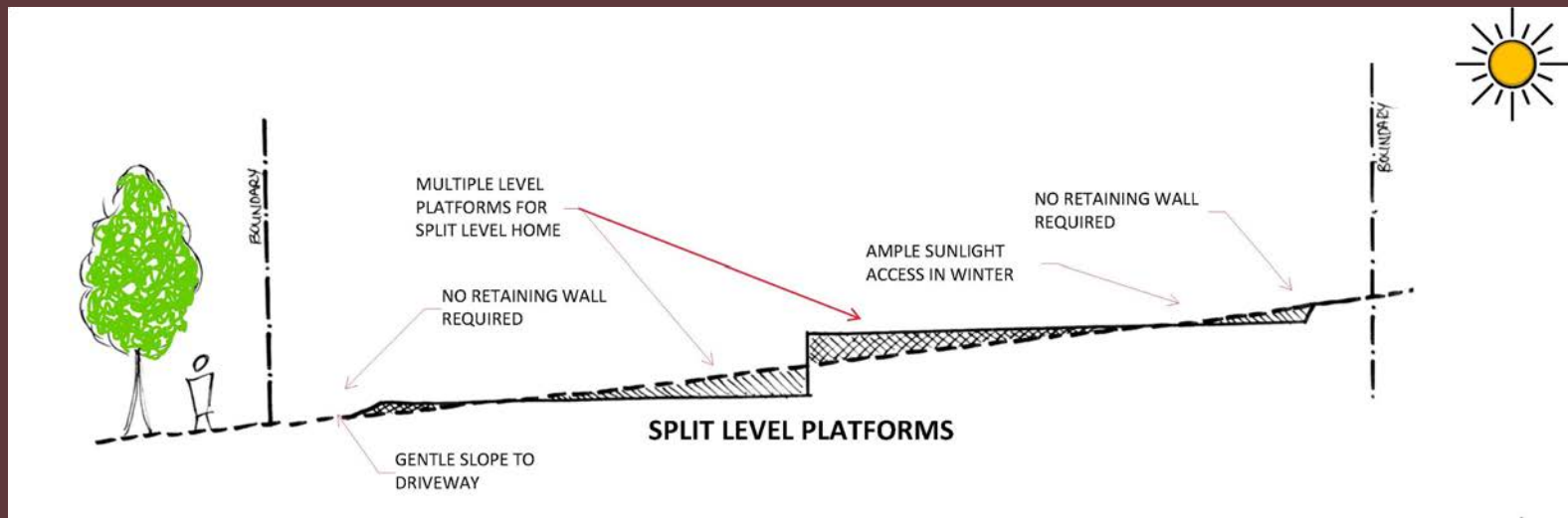
“Cut only” - Outcomes

- A “cut only response” to home design results in higher overall building costs, especially in retaining wall costs.
- Interface of dwellings built in this manner may have reduced privacy between homes.
- Homes may receive less sunlight & natural breezes into living areas. Functionality of outdoor areas may be compromised.



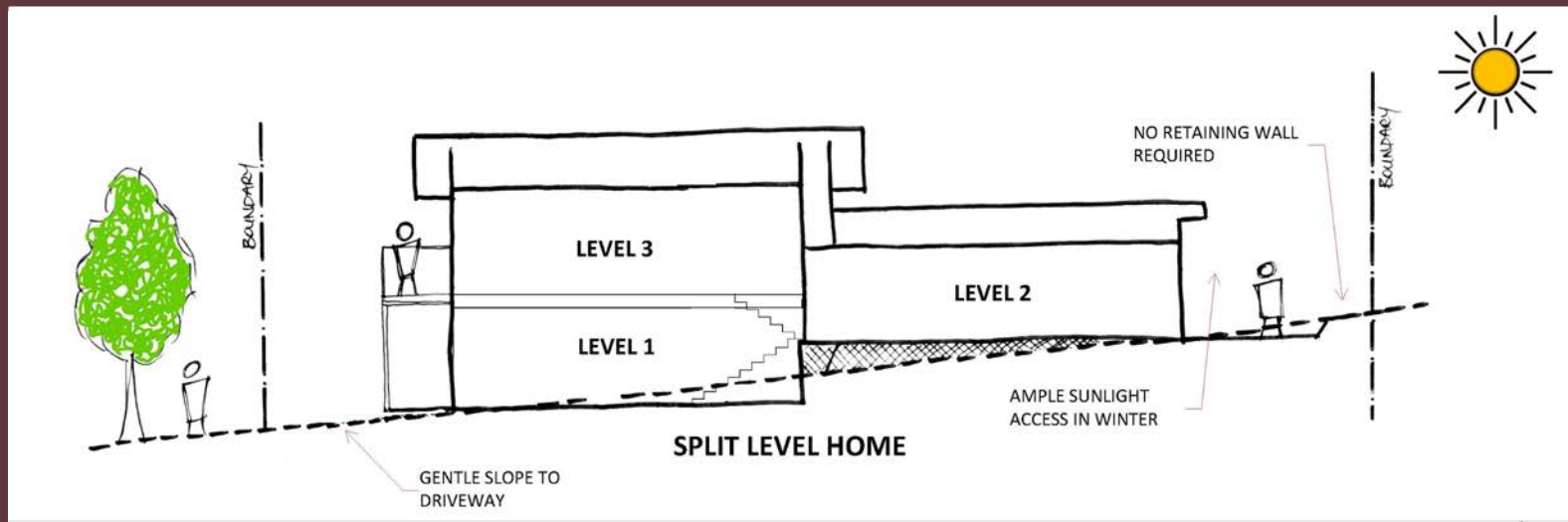
Split Level Design

- Split level home designs are “slope responsive” and tailored to the slope of your land.
- Smaller site cuts across multiple levels allows your home to step with the land.



Split Level Design

- A split level home is unique to your block and can create opportunities for beautiful design features such as raised ceiling heights, terraced landscaping and connected outdoor spaces.
- A split-level home also helps reduce potential issues with overshadowing to indoor and outdoor living areas, reduces excessive retaining walls and minimises potential overland waterflow.



Split Level Design - Outcomes

- A design that responds to the natural slope of the land addresses the site as a whole, not just the building itself.
- Split-level designs reduce the costs of retaining walls and earthworks as they are considered upfront as part of the design.



Split Level Design - Outcomes

- Slope-responsive design should maximise natural assets such as sunlight, views and useable outdoor spaces.
- Privacy and connectivity with outdoor spaces is maintained.

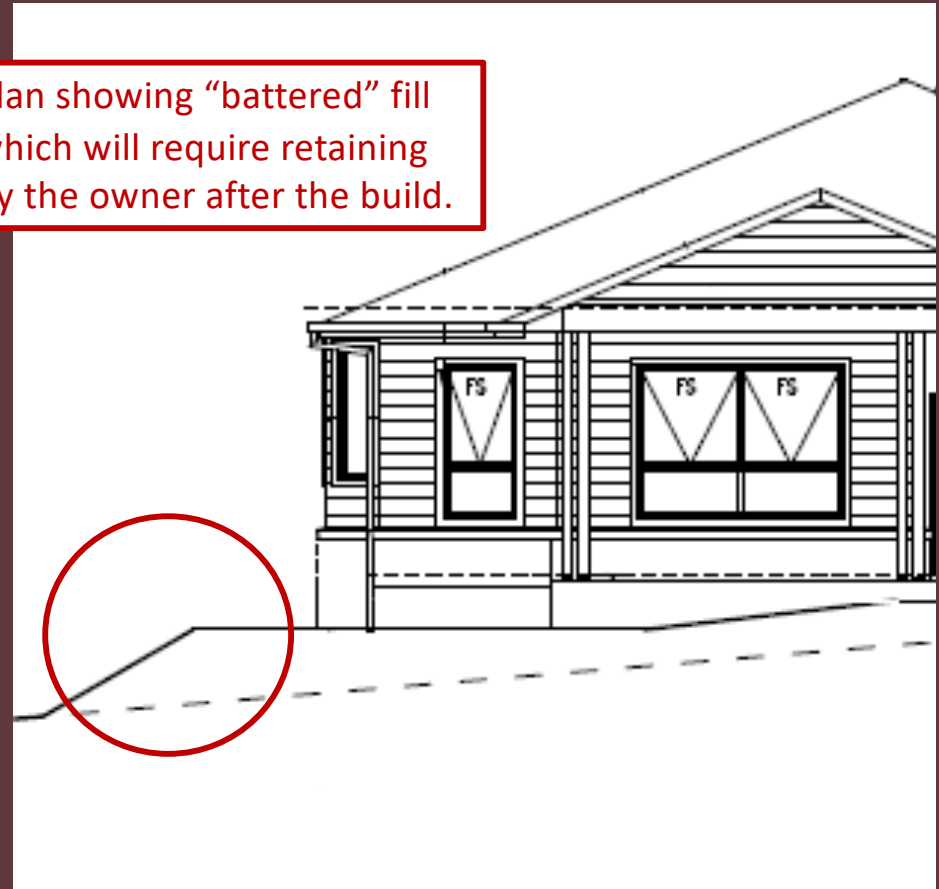


Retaining Walls

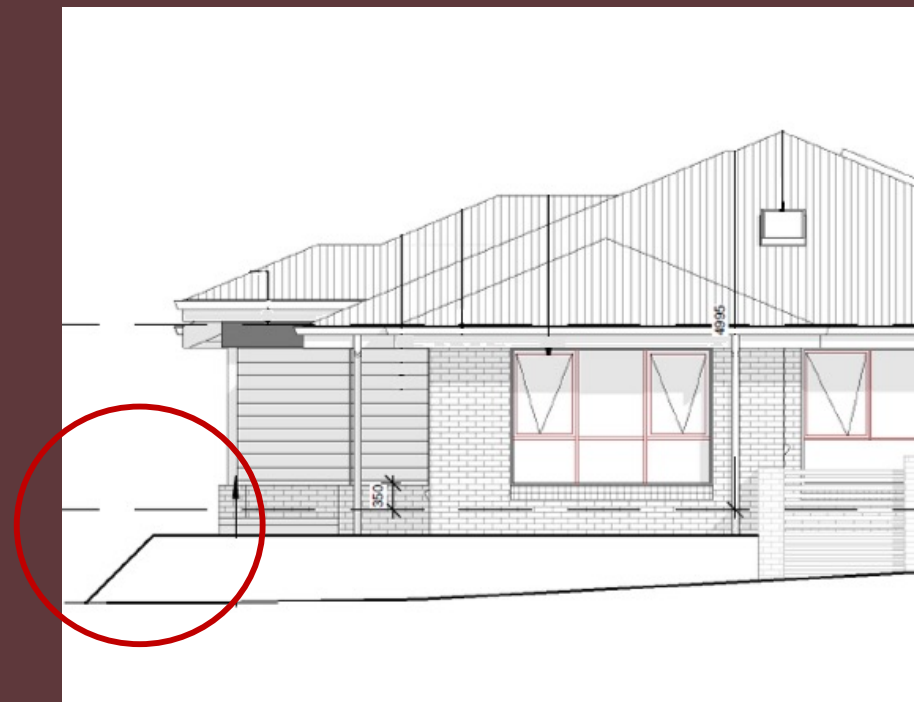
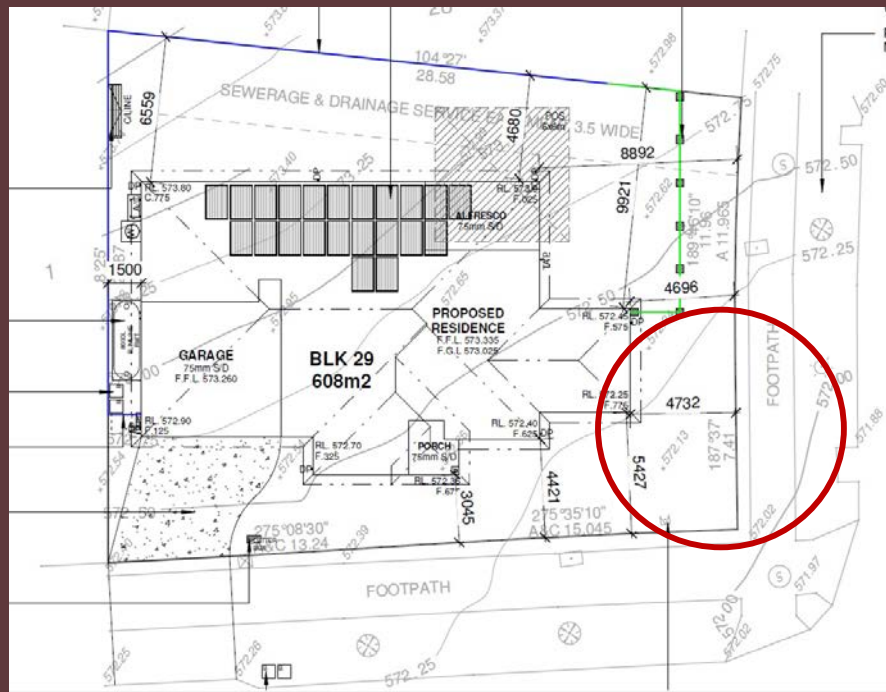
Retaining Walls

- Where your site level has been altered by more than 0.5m a retaining wall will be required.
- Retaining walls ensure the structural integrity and useability of the land.
- Not all building contracts include the cost for retaining walls. Plans or contract may state walls are “By Owner”.

Plan showing “battered” fill which will require retaining by the owner after the build.



- Ask to have all retaining walls required shown on your Site Plan, Sections and Elevations.
- Check your building contract to see if the cost for the walls is included.
- Ask your builder about retaining walls and to prepare a cost estimate for you.





- Battered exposed fill left untreated after building completion can cause issues.
- Remaining space is not very useable, makes finalising soft landscaping very difficult.
- Access issues out of doors almost unusable.
- Your land and house are not working well .

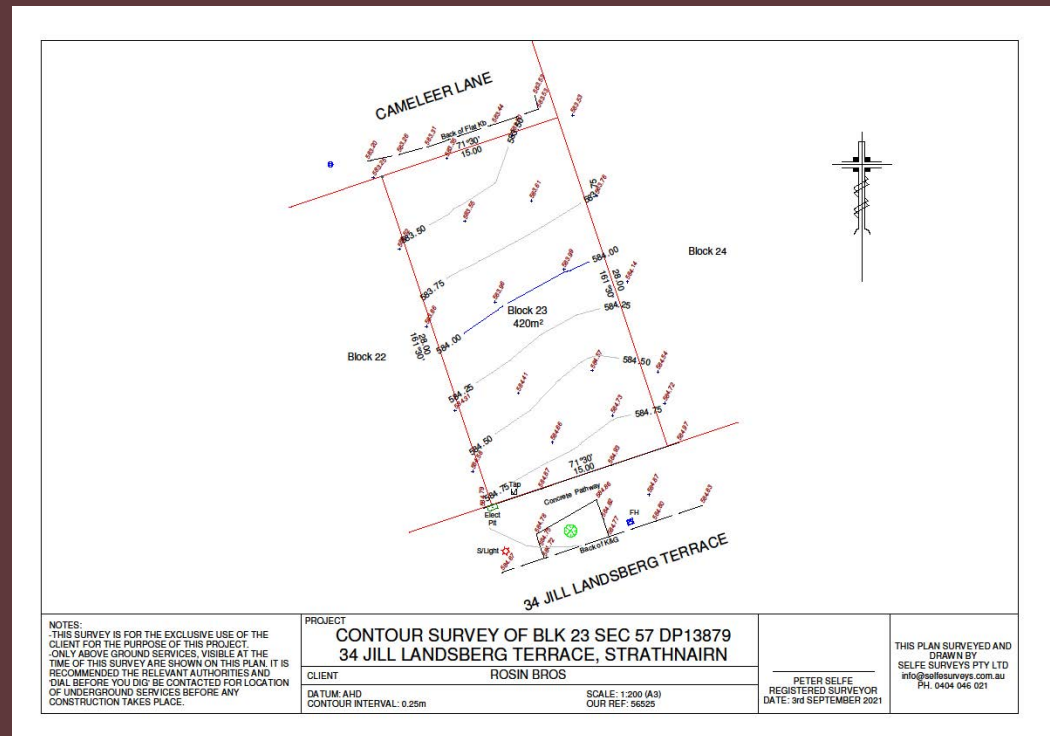
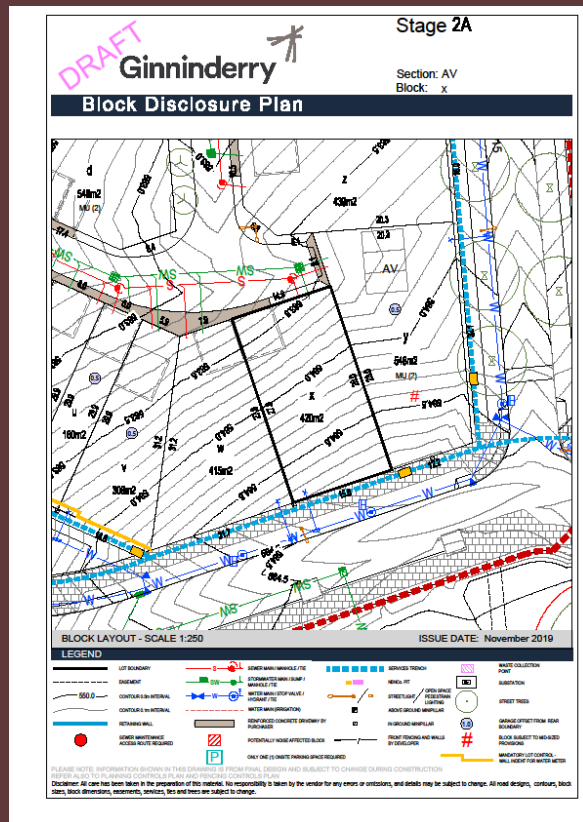
- Correctly located retaining walls maximise usable outdoor space.
- High quality retaining walls add value to the home and streetscape.
- In Macnamara, all retaining walls in front of your building must be stone, masonry or an Architectural block.



Ask your builder / designer

- To ensure you get the best design for your block, make sure you discuss slope responsive design with your builder / designer.
- Ask your builder if the contract includes the preparation of your site including cut, fill, removal of spoil and rock.
- Check if your design requires retaining walls to manage cut and fill levels and ask your designer to show the walls on the plans.
- Ask your builder to review your plans once you have received your registered survey to ensure your site levels are correct.

Block Disclosure Plan / Registered Survey plan



Questions?