

Housing Development Requirements

Neighbourhood 1
Strathnairn



Ginninderry

July 2022

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an inspiring 21st century community
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These requirements apply to detached homes within the first neighbourhood of Ginninderry, located in the new suburb of Strathnairn. Additional controls and other requirements will be applied to the higher density integrated housing.



Past 1





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Introduction

The Ginninderry Vision: an inspiring 21st century community

The Ginninderry community will be unique in our region. It extends across the ACT/NSW* border to the west of Belconnen and is being developed by a Joint Venture between the ACT Suburban Land Agency (SLA) and Riverview Developments (ACT) Pty Ltd, the NSW land developers.

From the start, our vision for Ginninderry has been to build a community of international significance, with innovation, diversity and ecological criteria at its core. Now we're bringing this vision to life.

Setting the highest standards

Your home at Ginninderry will be more than just a house. It will be part of a whole neighbourhood and community. The project team has established high expectations for Ginninderry, perhaps best illustrated by the Project Vision and its accreditation as Canberra's first 6 Star Green Star Community, through the Green Building Council of Australia. To achieve this certification, we've shown that Ginninderry will be a world-leading community, exhibiting international best practice in urban design and development.

As a resident at Ginninderry, you will benefit from a vast Conservation Corridor, well connected, tree lined streets and easy access to public transport. Pedestrian and cycling pathways will help you enjoy the wonderful natural environment at Ginninderry.

Ginninderry aspires to be recognised as a world leader in sustainable development, delivering a community that is:

- better planned and designed
- more dynamic and vibrant
- a healthy place to live work and play
- productive and prosperous
- flexible, adaptable and resilient.

Environmental Management Trust

As part of the EPBC approval, an Environmental Management Trust will be set up to address issues such as conservation, fire management, recreation and Indigenous and European heritage within the conservation area.

Protection measures will also be in place in the Conservation Corridor for weed and stock management, consolidation and restoration of existing habitat area, management of recreational facilities such as walking and cycling trails, fishing and swimming.

Blocks adjacent to the Conservation Corridor area are subject to additional mandatory controls to ensure the potential impact of construction activities on the Conservation lands are minimised. Effective measures such as water runoff and erosion sediment controls are critical and regular inspections will be conducted to ensure these requirements are being implemented.

*Subject to rezoning approval.



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Innovative ideas and technologies

Like all communities, Ginninderry will evolve and change over time, and so too will building design, technologies and materials. It is quite possible that innovative energy solutions, comfort and cost reductions may be achieved by using new technologies, practices and principles not contemplated in this document.

Accordingly, our sales and design team will be on hand to discuss any alternative ideas you may have to deliver improved sustainable design and liveability outcomes. At the discretion of the Design Coordinator, mandatory requirements may be varied if better alternatives and solutions are proposed, that do not compromise the overall integrity of Ginninderry's design philosophy.

Why design requirements?

This set of Housing Development Requirements has been specifically developed for detached homes within the first neighbourhood of Ginninderry, located in the new suburb of Strathnairn. The appearance of the homes in Ginninderry, and how they relate to one another in the streetscape, will help define the character of the new community. These requirements will help ensure that each street, each neighbourhood and Ginninderry as a whole is developed in an integrated manner, with quality and sustainable outcomes in design and construction.

To help you move through the process in a logical order, this book is divided into six parts:

1. Introduction
2. The design approval process
3. Neighbourhoods and character areas
4. Home design controls
5. Sustainable living requirements
6. Site works and landscaping requirements.

Additional resources

To assist in designing and building your new home at Ginninderry, there are a number of additional resources available for you, your designer and builder to use. They include:

- Smart Living booklet
- Servicing Conditions fact sheet
- Energy System Fact Sheet
- Erosion and Sediment Control fact sheet
- Front landscaping concepts
- External finishes colour schedule.

These resources can be downloaded from the following link:

www.ginninderry.com/sales/buyers-toolkit

Where applicable these additional resource documents are referred to throughout the body of this document.

For your convenience, the most important Territory Plan code requirements have been referenced in the text and tables throughout this document. Territory Plan requirements may be altered by the Environment, Planning & Sustainable Development Directorate (EPSDD) at any time without notice. While the requirements summarised in this document are believed to be correct at the time of print, it is recommended you download the latest version of the Territory Plan code requirements from the EPSDD website and refer to it directly.



Past 2



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Design approval process

All detached homes in Neighbourhood 1 need to comply with the following:

- these Housing Development Requirements
- plans relating to your block including Building Envelope Plan, Building Controls Plan, Fencing Controls Plan and Block Details Plan. These plans can be downloaded from the following link: www.ginninderry.com/sales/buyers-toolkit
- relevant rules in the Residential Zones Single Dwelling Housing Development Code of the Territory Plan. These rules are available at www.legislation.act.gov.au/ni/2008-27/default.asp
- any other general relevant codes within the Territory Plan
- **Note:** The Housing Development Requirements may be updated from time to time. Your dwelling is accessed against the development requirements which are current at the time of your plan lodgement.

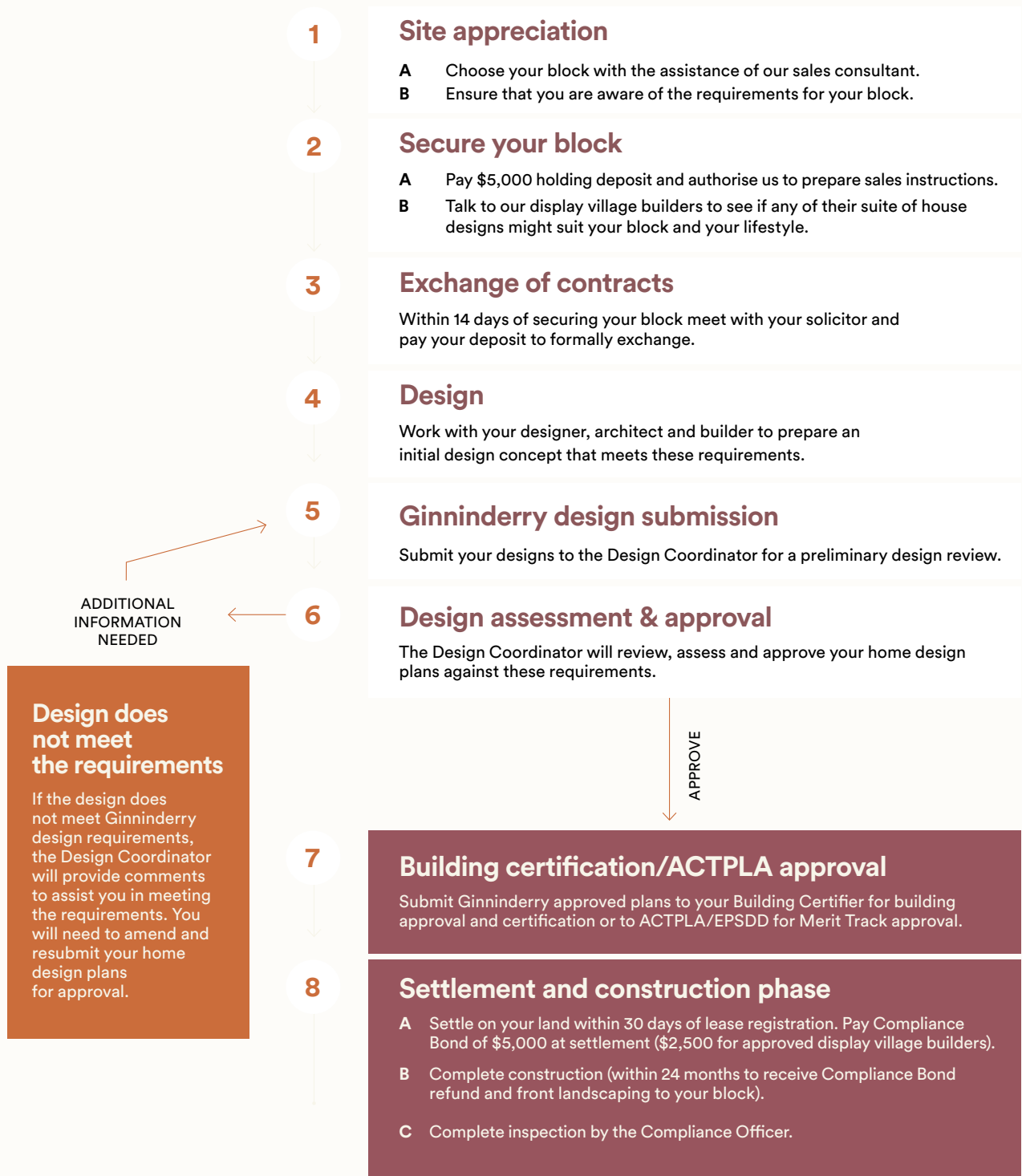
Our Design Coordinator can assist

You, your builder and/or your house designer are encouraged to meet with our Design Coordinator early in the process, ideally before you start designing your home. You need to receive design approval from the Design Coordinator before you apply for building/development approval from your Building Certifier or EPSDD (ACTPLA). See also the **Design Approval Checklist + Application Form** for the requirements (in Appendices –page 55).



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How the process works





P2

Building timing

Under the Contract of Sale for your block, you are encouraged to complete the construction of your home, driveways and fencing within 24 months of settlement.

The developer will generally commence the front landscaping within 3 months of an approved compliance inspection.

Soft works such as planting and permeable ground covers are seasonally dependent and will be installed at the appropriate time.



Compliance Bond and Front Landscaping incentive

An important part of the Contract for Sale of Land at Ginninderry is the requirement for the payment of a \$5,000 Compliance Bond to the developer at the time of settlement. The Compliance Bond is to ensure adherence to these Housing Development Requirements.

A reduced \$2,500 Compliance Bond applies to purchasers who build with our display village builders.

The Compliance Bond helps to ensure that the house design and sustainability requirements are completed in accordance with the approved plans to provide for an attractive streetscape and protect your investment. The Bond also ensures that builders will take care during construction to establish the right erosion and sediment controls, protecting our environment as well as the street trees and public verges.

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It is strongly recommended that you include provisions in your building contract to ensure that your builder is responsible for site and waste management and repairs to surrounding public areas including the verge, street trees, footpath and services damaged during construction.

The Compliance Bond is administered by the developer.

- If you buy your land directly from us and then either build your home yourself or contract a builder to construct your home, you will be required to lodge the Compliance Bond
- If you are buying a house and land package from a builder, it is the builder's responsibility to pay the Compliance Bond
- If your builder wishes to transfer the Compliance Bond responsibility onto you, a letter of transfer showing an agreement between yourself and your builder will be required.

Upon completion of your home, subject to compliance with the requirements listed below (as determined by our Compliance Officer) the Compliance Bond will be returned to the party that paid the Bond.

To arrange a compliance inspections once your home is complete, simply email **designs@ginninderry.com** and request a compliance inspection.

Our compliance officer will generally inspect homes on a fortnightly basis.



Minimum requirements

The conditions for the return of the Compliance Bond are:

- The home design must be submitted to and approved by the Design Coordinator
- The home has been built to the approved design in accordance with the requirements of the Home Design Controls listed in Part 4
- The home has been designed and constructed in accordance with the mandatory Sustainable Living requirements under Part 5, including a letter from your solar installer to certify that the PV system with inverter and Home Energy Management System (HEMS) has been installed to our requirements
- The home has been designed and constructed in accordance with the Site Works requirements under Part 6
- Any damage to the surrounding verges, street trees, footpath, services and adjoining land caused by the construction of your home has been rectified to the satisfaction of Transport Canberra and City Services (TCCS) and the Design Coordinator
- All waste on the public verge and adjoining land has been removed
- The front landscaping design has been selected and agreed with the Ginninderry Landscape Manager
- Complete Front Landscaping Application Form.





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Neighbourhoods and character areas

These Housing Development Requirements apply to Neighbourhood 1 Ginninderry, located in the new suburb of Strathnairn.

When Ginninderry is complete there will be three suburbs in the ACT, housing approximately 17,000 people, and an adjoining community of about 13,000 people in NSW.* The first two suburbs at Ginninderry are Strathnairn and Macnamara.

Each of the suburbs will include a number of distinct neighbourhoods with different housing types that will allow people to remain close to family and friends as their stage in life changes. The types of neighbourhoods are defined by what we've called 'character areas'.

There are five distinct character areas at Ginninderry. Not every neighbourhood suburb will have all the different character areas.



Market Centre

Featuring a town square, multi-functional spaces and buildings up to 6 storeys high, this will be a vibrant hub of economic, cultural and social activity for Ginninderry and nearby residents.



Urban Village

Here apartments, terrace homes, studios and single dwellings will coexist with cafes, restaurants and other small businesses. There will also be pocket parks, playgrounds and community meeting places to create an vibrant precinct.



Village Link

Lower density urban living characterises this area. It will incorporate detached homes, town houses and terrace homes, with parks and playgrounds sprinkled throughout.



Traditional

Characterised by detached one and two-storey homes on larger blocks, traditional areas will provide a more conventional suburban lifestyle, with access to open spaces and parkland.

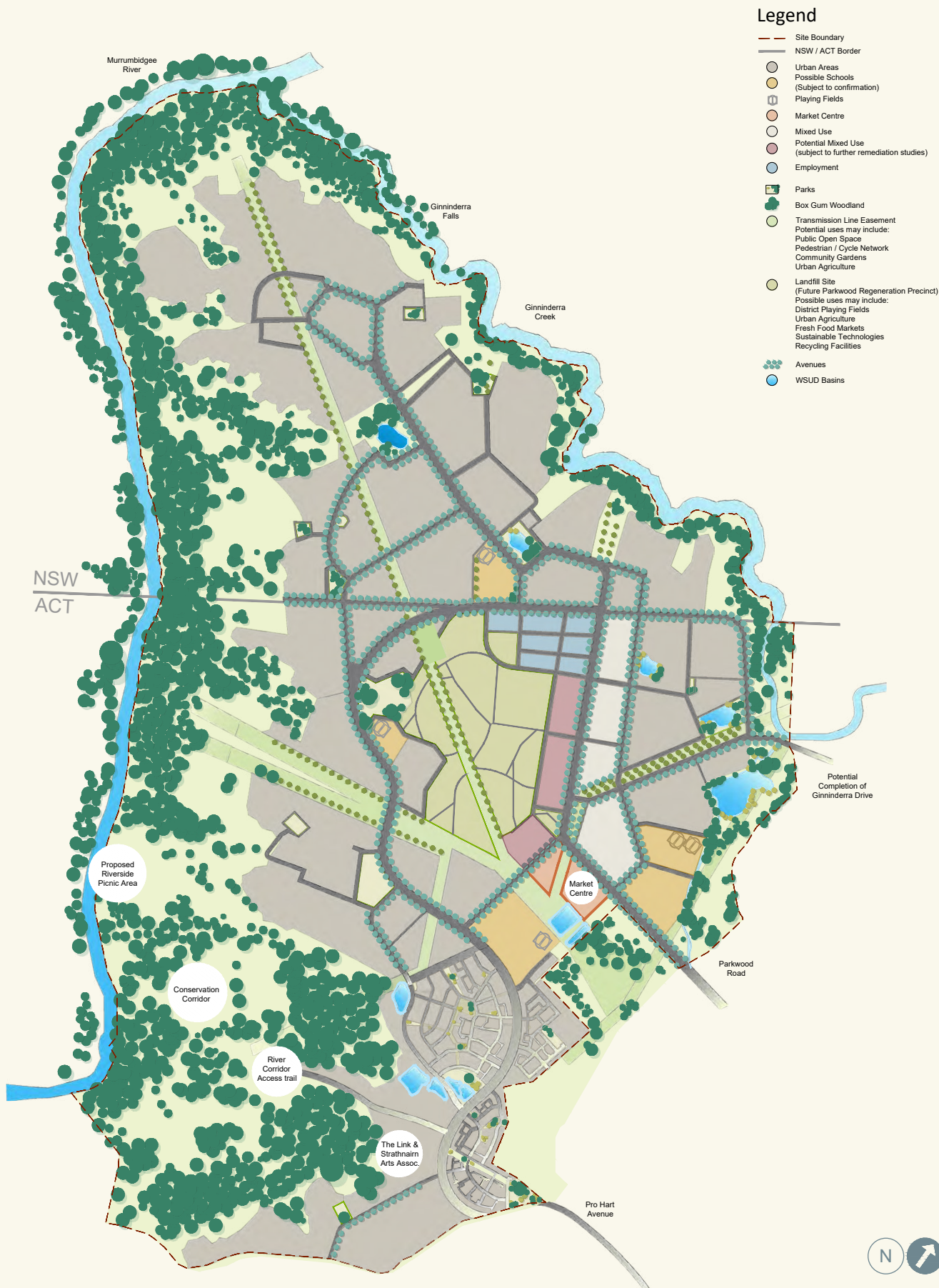


Conservation Edge

These are important transition areas between the higher density urban area and the river corridor. The Conservation Edge will have more informal streets with homes incorporating building materials and colour palettes that complement the natural environment of the river corridor. Roads fronting the corridor will be integrated with pedestrian, cycle and potentially equestrian trails.

** NSW is subject to rezoning approval*







Legend

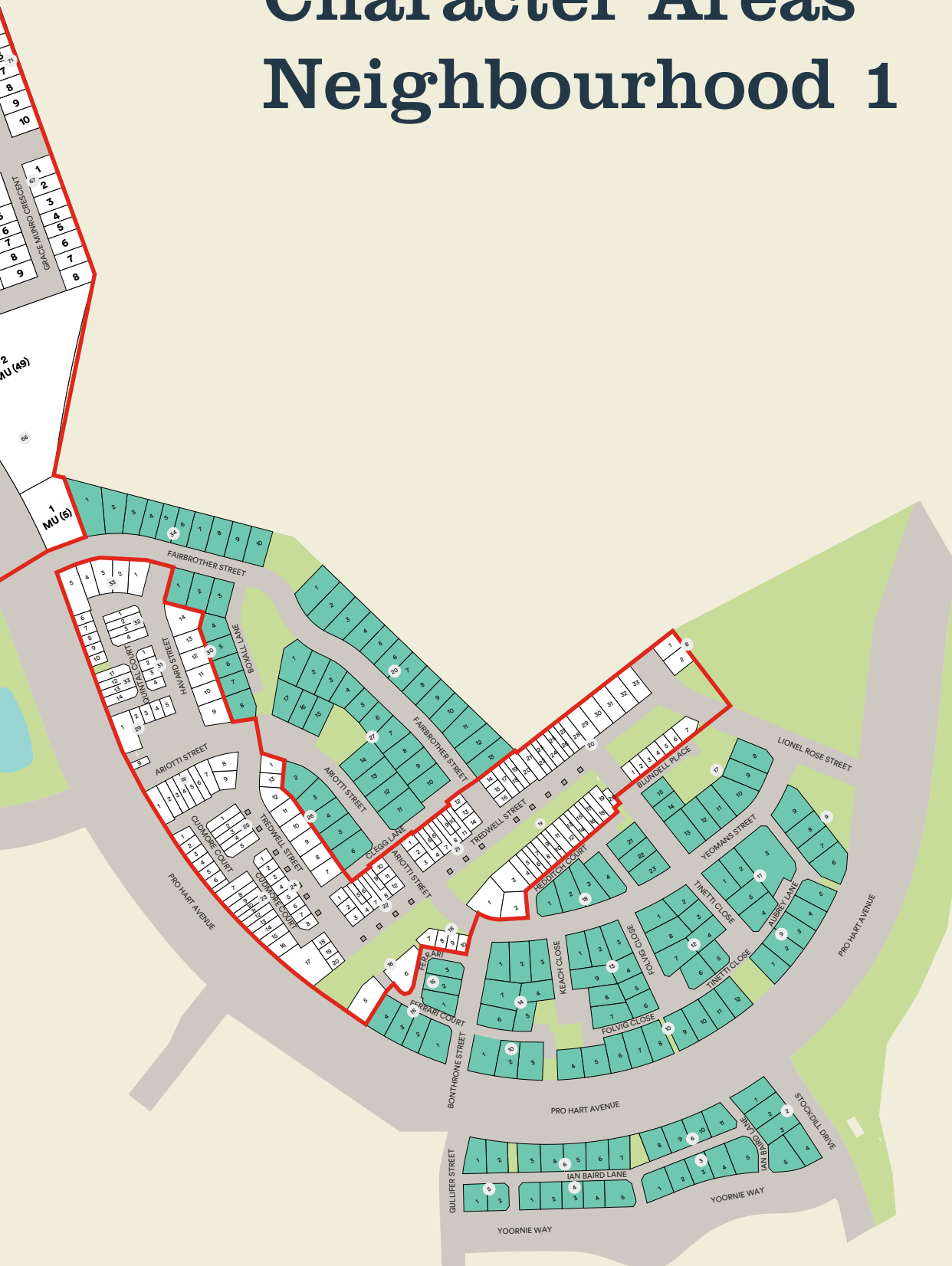
- Urban Villages
- Conservation Edge
- Village Link
- Open Space
- Traditional
- Village Link Boundaries

Disclaimer: The Suburban Land Agency (SLA), Riverview Developments (RD) and Riverview Projects (ACT) Pty Ltd (RP) make no warranty to the accuracy or completeness of information contained herein and recommends obtaining independent legal, financial and accounting advice before considering purchasing or making an offer to purchase land or a house and land package. The plans, examples and information contained herein are for illustrative purposes only and should not, without further inquiry, be relied upon as to their ultimate accuracy, to the extent permitted by law; the SLA, RD and RP will not be responsible for any loss or damage that may be incurred as a result of your reliance upon this material.

**Alternate uses may be permissible subject to DA.

Character Areas

Neighbourhood 1



P3

Neighbourhood 1 character areas

There are three different character areas within the first neighbourhood of Strathnairn:
Conservation Edge, Traditional and Village Link.

The Conservation Edge serves as an important transition area between the urban interface and the river corridor. It will have homes and front garden designs which will complement the natural setting of the river corridor.

The Traditional area is characterised by the "garden suburbs" lifestyle with detached homes, townhouses and studios while the Village Link is more urban in its setting and has a variety of blocks for smaller courtyard homes, terraces, attached homes and studio apartments.

Traditional homes



Village Link homes



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Home design controls

The following table outlines the requirements for your block within your character area.

Remember that our sales team and Design Coordinator are keen to guide you through the requirements.




Minimum requirements

All detached homes within Neighbourhood 1, in the suburb of Strathnairn must comply with:

- these Housing Development Requirements
- plans relating to your block including Building Envelope Plan, Building Controls Plan, Fencing Controls Plan and Block Details Plan. These plans can be downloaded from the following link: www.ginninderry.com/sales/buyers-toolkit
- relevant rules in the Residential Zones Single Dwelling Housing Development Code of the Territory Plan
These rules are available at www.legislation.act.gov.au/ni/2008-27/default.asp
- any other general relevant codes within the Territory Plan
- final inspections by the Design Coordinator.

The first part of this table deals with the Village Link and Traditional character areas, followed by the requirements for the Conservation Edge.



Character Area: Village Link 	
Bush Fire Requirements	There are no bush fire requirements for the building construction for blocks within Neighbourhood 1.
Noise Attenuation	<ul style="list-style-type: none"> Refer to the Acoustic Report in the Buyers Toolkit for cladding and glazing requirements to blocks fronting Pro Hart Avenue (Road 100). Download document here: https://ginninderry.com/wp-content/uploads/2018/10/2270806PA-170530-ZL-Ginninderry-NMP-Rev2.pdf
EER rating	Min 6 star Energy Efficiency Rating as per Territory Plan requirements.
Building Height	<p>Up to 3 storeys permitted</p> <p>Mandatory 2 storeys on certain blocks fronting Pro Hart Avenue</p> <p>Refer to Planning Controls Plan.</p>
Building Front Setback	Refer to Strathnairn Precinct Map and Code and the Single Dwelling Housing Development Code.
Front Fencing forward of the Building Line	Refer to Strathnairn Precinct Map and Code.
Principal Private Open Space (PPOS) requirements	Refer to Planning Controls Plan and Single Dwelling Housing Development Code.
Roof Pitch	<p>Hip roof – minimum 20 degrees.</p> <p>Skillion – 5 degrees only when behind a parapet wall such as a garage frontage.</p> <p>Skillion – 10-15 degrees.</p> <p>Gables – minimum 30 degrees or on architectural merit.</p> <p>Roof forms with only parapets are not permitted on detached homes.</p> <p>Detached homes can have a combination of skillion and parapet roofs or hip and parapet roofs.</p> <p>Faux parapets are not permitted. The front parapet wall must extend past the gutter and conceal the gutter.</p> <p>Alternate roof form designs may be considered on architectural merit.</p>
Roofing Materials	Refer to colours and finishes palette for pre-approved Colorbond and flat profile roof tiles in Appendix A.
Eaves	Minimum 450mm. 600mm is preferred.
Window proportions	Street facing window proportions shall be more vertical in proportion in relation to height versus width. Simple 2 panel sliders are not permitted.
Awnings	For windows with no eaves above, awnings or sunhoods are required. External screens for any west facing glazed living areas should be considered.
Sustainable living	Refer to Part 5.
Front landscaping and verges	Refer to Part 6 – Note: Synthetic turf is not permitted to front landscaping or verges.
Mail boxes	<p>Mail boxes must compliment the home and shall be constructed of masonry or stone, rendered masonry, or stone faced masonry is also acceptable.</p> <p>Pre-fabricated stand alone style mail boxes are not permitted.</p>



Character Area: Village Link ●

Wall Cladding	<p>A complementary mix of materials and colours is required within the built form for each dwelling, with a minimum of two materials or finishes are to be used to distinguish façade elements. Consider the use of recycled materials such as recycled timber, bricks and Modwood decking.</p> <p>A material 1 and 2 are to be chosen from the following façade finishes:</p> <ul style="list-style-type: none"> ① Masonry in a painted, rendered or bagged finish ① Smooth face brick ② Rendered foam cladding ② Fibre cement sheeting or boarding (painted, coloured or rendered) ② Pre-finished metal profile wall cladding, hardwood cladding, architectural cladding ② Pre-finished panel systems (fire code compliant only) may be used on the façade <p>Brick selection are to be chosen from the approved range within the design requirements (p. 70) or by the design manager.</p>
Garages/carports (front loaded only)	<p>Garages and carports must be integrated with the overall design of the house. Minimum post sizes for carports – Ex 100 × 100mm.</p> <p>Triple fronted garages are not permitted.</p>
Garage doors	<p>Panel lift/tilt up garage doors preferred.</p> <p>Roller doors are not permitted to garages located on street frontages but are permissible on laneways.</p>
Entry Porch	<p>An entry porch is mandatory for all detached homes.</p> <p>Entry porches must have minimum dimensions of 1.5 × 1.5m with posts 100 × 100mm or greater.</p> <p>Use posts or posts protruding from masonry piers to smaller verandahs. Overly bulky masonry piers will not be permitted.</p>
Front Articulation	<p>Front articulation must be provided in the design through projections, blade walls, use of windows, shading and awning elements and changes in materials and colours.</p> <p>Rooms fronting the street should generally be habitable to provide opportunity to articulate the façade with the use of windows. Service and wet areas should be located to the rear and side of the house.</p>
Articulation to corner blocks and blocks adjacent to open spaces	<p>The house design must address both frontages for corner blocks.</p> <p>House designs on corner blocks must incorporate one of the following:</p> <ul style="list-style-type: none"> • extension of the entry porch to incorporate a verandah to wrap around the corner by minimum 1m • wrap-around corner windows • wrap-around decking • wrap-around balcony. <p>The corner of the house needs to be projected beyond the rest of the house to eliminate a long straight wall without any projections and articulation.</p> <p>Rooms located along both street frontages should generally be habitable rooms to provide opportunity to articulate the façade with the use of windows. Service and wet areas should be located to the rear of the house.</p>
Architectural merit based approval	<p>Design proposals which sit outside the intent of the design requirements may only be considered on the basis of architectural merit. The consideration of the proposal will be assessed against the following demonstrable criteria.</p> <ul style="list-style-type: none"> • Achieves a higher EER of that to a typical dwelling and the minimum standard EER equivalent of 7+ stars will be required. • Appreciation of the site, orientation of the dwelling, solar access and light penetration. • The architectural detailing is well resolved and understood enhancing the building performance environmentally and offers a sustainable design approach not simply stylistic.



Character Area: Traditional

Bush Fire Requirements	There are no bush fire requirements for the building construction for blocks within Neighbourhood 1.
Noise Attenuation	<ul style="list-style-type: none"> Refer to the Acoustic Report in the Buyers Toolkit for cladding and glazing requirements to blocks fronting Pro Hart Avenue (Road 100). Download document here: https://ginninderry.com/wp-content/uploads/2018/10/2270806PA-170530-ZL-Ginninderry-NMP-Rev2.pdf
EER rating	Min 6 star Energy Efficiency Rating as per Territory Plan requirements.
Building Height	<p>Maximum 2 storeys</p> <p>Mandatory 2 storeys on certain blocks fronting Pro Hart Avenue</p> <p>Refer to Planning Controls Plan.</p>
Building Front Setback	Refer to Strathnairn Precinct Map and Code and the Single Dwelling Housing Development Code.
Front Fencing forward of the Building Line	Refer to Strathnairn Precinct Map and Code if applicable to your block.
Principal Private Open Space (PPOS) requirements	Refer to Planning Controls Plan and Single Dwelling Housing Development Code.
Roof Pitch	<p>Hip roof – minimum 20 degrees.</p> <p>Skillion – 5 degrees only when behind a parapet wall such as a garage frontage.</p> <p>Skillion – 10-15 degrees.</p> <p>Gables – minimum 30 degrees or on architectural merit.</p> <p>Roof forms with only parapets are not permitted on detached homes.</p> <p>Detached homes can have a combination of skillion and parapet roofs or hip and parapet roofs.</p> <p>Faux parapets are not permitted. The front parapet wall must extend past the gutter and conceal the gutter.</p> <p>Alternate roof form designs may be considered on architectural merit.</p>
Roofing Materials	Refer to colours and finishes palette for pre-approved Colorbond and flat profile roof tiles in Appendix A.
Eaves	Minimum 450mm. 600mm is preferred.
Window proportions	Street facing window proportions shall be more vertical in proportion in relation to height versus width. Simple 2 panel sliders are not permitted.
Awnings	For windows with no eaves above, awnings or sunhoods are required. External screens for any west facing glazed living areas should be considered.
Sustainable living	Refer to Part 5.
Front landscaping and verges	Refer to Part 6 – Note: Synthetic turf is not permitted to front landscaping or verges.
Mail boxes	<p>Mail boxes must compliment the home and shall be constructed of masonry or stone, rendered masonry, or stone faced masonry is also acceptable.</p> <p>Pre-fabricated stand alone style mail boxes are not permitted.</p>



Character Area: Traditional

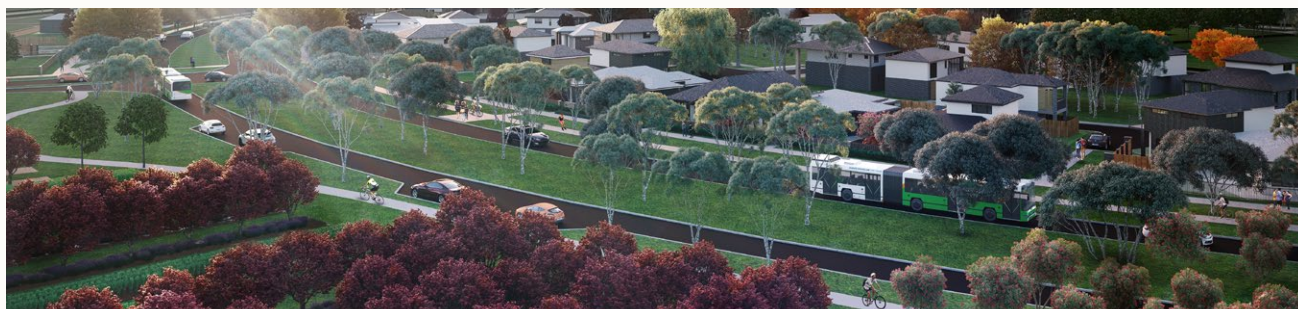
Wall Cladding	<p>A complementary mix of materials and colours is required within the built form for each dwelling, with a minimum of two materials or finishes are to be used to distinguish façade elements. Consider the use of recycled materials such as recycled timber, bricks and Modwood decking.</p> <p>A material 1 and 2 are to be chosen from the following façade finishes::</p> <ul style="list-style-type: none"> ① Masonry in a painted, rendered or bagged finish ① Smooth face brick ② Rendered foam cladding ② Fibre cement sheeting or boarding (painted, coloured or rendered) ② Pre-finished metal profile wall cladding, hardwood cladding, architectural cladding ② Pre-finished panel systems (fire code compliant only) may be used on the façade <p>Brick selection are to be chosen from the approved range within the design requirements (p. 70) or by the design manager.</p>
Garages/carports (front loaded only)	<p>Garages and carports must be integrated with the overall design of the house. Minimum post sizes for carports – Ex 100 × 100mm.</p> <p>Triple fronted garages are not permitted.</p>
Garage doors	<p>Panel lift/tilt up garage doors preferred.</p> <p>Roller doors are not permitted to garages located on street frontages but are permissible on laneways.</p>
Entry Porch	<p>An entry porch is mandatory for all detached homes.</p> <p>Entry porches must have minimum dimensions of 1.5 × 1.5m with posts 100 × 100mm or greater.</p> <p>Use posts or posts protruding from masonry piers to smaller verandahs. Overly bulky masonry piers will not be permitted.</p>
Front Articulation	<p>Front articulation must be provided in the design through projections, blade walls, use of windows, shading and awning elements and changes in materials and colours.</p> <p>Rooms fronting the street should generally be habitable to provide opportunity to articulate the façade with the use of windows. Service and wet areas should be located to the rear and side of the house.</p>
Articulation to corner blocks and blocks adjacent to open spaces	<p>The house design must address both frontages for corner blocks.</p> <p>House designs on corner blocks must incorporate one of the following:</p> <ul style="list-style-type: none"> • extension of the entry porch to incorporate a verandah to wrap around the corner by minimum 1m • wrap-around corner windows • wrap-around decking • wrap-around balcony. <p>The corner of the house needs to be projected beyond the rest of the house to eliminate a long straight wall without any projections and articulation.</p> <p>Rooms located along both street frontages should generally be habitable rooms to provide opportunity to articulate the façade with the use of windows. Service and wet areas should be located to the rear of the house.</p>
Architectural merit based approval	<p>Design proposals which sit outside the intent of the design requirements may only be considered on the basis of architectural merit. The consideration of the proposal will be assessed against the following demonstrable criteria.</p> <ul style="list-style-type: none"> • Achieves a higher EER of that to a typical dwelling and the minimum standard EER equivalent of 7+ stars will be required. • Appreciation of the site, orientation of the dwelling, sloar access and light penetration. • The architectural detailing is well resolved and understood enhancing the building performance enviromentally and offers a sustainable design approach not simply stylistic.

Character Area: Conservation Edge ○

Erosion Sediment Controls	Block owners will be required to obtain approval from the Landscape Manager for the erosion and sediment controls prior to work commencing.
Bush Fire Requirements	See Master plan for the blocks with bush fire requirements for building construction for blocks along the Conservation Edge.
EER rating	Min 6 star Energy Efficiency Rating as per Territory Plan requirements.
Building Height	Maximum 2 storeys.
Building Front Setback	Min 6m. Refer to Planning Controls Plan.
Front Fencing forward of the Building Line	Front fencing is not permitted on blocks with primary frontages to the road along the edge of the Conservation Corridor.
Principal Private Open Space (PPOS) Requirements	Refer to Planning Controls Plan for alternative PPOS solution.
Roof Pitch	Hip roof – minimum 20 degrees. Skillion – 5 degrees when behind a parapet wall such as a garage frontage. Skillion – 10-15 degrees. Gables – minimum 30 degrees or on architectural merit. Parapets are permitted on certain blocks to facilitate lower roof heights to enable blocks behind to have views to the river corridor. Alternate roof form designs may be considered on architectural merit.
Roofing materials	Refer to colours and finishes palette for pre-approved Colorbond and flat profile roof tiles in Appendix A.
Eaves	Minimum 650mm.
Window proportions	Street facing window proportions shall be more vertical in proportion in relation to height versus width. Simple 2 panel sliders are not permitted.
Awnings	For windows with no eaves above, awnings or sunhoods are required. External screens for any west facing glazed living areas should be considered.
Wall Cladding and Front Verandah	A covered verandah with a minimum depth of 1800mm is to be provided along the whole frontage. A complementary mix of materials and colours is required within the built form for each dwelling, with a minimum of two materials or finishes are to be used to distinguish façade elements. Consider the use of recycled materials such as recycled timber, bricks and Modwood decking. A material 1 and 2 are to be chosen from the following façade finishes: ① Masonry in a painted, rendered or bagged finish ① Smooth face brick ② Rendered foam cladding ② Fibre cement sheeting or boarding (painted, coloured or rendered) ② Pre-finished metal profile wall cladding, hardwood cladding, architectural cladding ② Pre-finished panel systems (fire code compliant only) may be used on the façade Brick selection to be within the following ranges or by approval by the design manager.



Character Area: Conservation Edge ○	
Garages / carports (front loaded only)	Garages and carports must be integrated with the overall design of the house. Minimum posts size for carports – Ex 100 x 100mm. Triple fronted garages are not permitted.
Garage doors	Panel lift / tilt up garage doors are required. Roller doors are not permitted.
Entry porch	An entry porch integrated into the verandah is mandatory for all homes.
Front Articulation	Front articulation must be provided in the design through projections, blade walls, use of windows, shading and awning elements and changes in materials and colours. Rooms fronting the street must be habitable rooms. Laundry and bathrooms are not permitted to be located to the primary frontage of the house.
Mail boxes	Mail boxes must compliment the home and shall be constructed of masonry or stone, rendered masonry, or stone faced masonry is also acceptable. Pre-fabricated stand alone style mail boxes are not permitted.
Articulation to corner blocks and blocks adjacent to open space	The house design must address both frontages for corner blocks. House designs on corner blocks must incorporate one of the following: <ul style="list-style-type: none"> · extension of the entry porch or verandah to wrap around the corner by minimum 1m · wrap around corner windows · wrap around decking · wrap around balcony The corner of the house needs to be projected beyond the rest of the house to eliminate a long straight wall without any projects and articulation.
Sustainable living	Refer to Part 5.
Front landscaping verges	Refer to Part 6 – Note: Synthetic turf is not permitted to front landscaping or verges.
Architectural merit based approval	Design proposals which sit outside the intent of the design requirements may only be considered on the basis of architectural merit. The consideration of the proposal will be assessed against the following demonstrable criteria. <ul style="list-style-type: none"> · Achieves a higher EER of that to a typical dwelling and the minimum standard EER equivalent of 7+ stars will be required. · Appreciation of the site, orientation of the dwelling, sloar access and light penetration. · The architectural detailing is well resolved and understood enhancing the building performance enviromentally and offers a sustainable design approach not simply stylistic.



P4

Housing character

While the look of your home is important in helping to create a quality residential community, its functionality, energy and water efficiency and overall “liveability” are equally important.

In that context, the fundamental character we are striving for at Ginninderry is “Contemporary Australia”, characterised by

- Designs that provide for indoor/outdoor living with a direct and strong connection between indoor living areas and outside landscaped areas such as courtyards, verandahs and alfresco areas
- Energy efficient designs that achieve a minimum of 6 stars, optimising orientation of living areas and windows to the north, using energy efficient materials and providing for cross ventilation
- Clean lines in the building design, roof lines and material composition.

Elements not permitted

To ensure your home contributes positively to an attractive streetscape, the following elements **will not be permitted** at Ginninderry:

- historical reproduction styles such as Federation, Colonial, Victorian or Georgian
- roof forms with parapets only
- applied and stuck-on elements
- faux parapets
- irregular forms such as curved roofs and walls (these are generally not permitted but will be considered upon merit)
- blank façades fronting the street with a lack of articulation and windows
- façades that are made up of mixed architectural styles
- eclectic use of composite materials
- homogeneous colour and material (e.g. all cream face brick)
- solid Colorbond fencing or paling fence beyond the building line
- Synthetic turf.

Houses located adjacent to or directly across the street from each other cannot have identical façades either in form or in colour and materials.



Faux parapets**Stuck-on/applied elements****Paling and Colorbond fence to front of the building line****House with all parapets****A mix of roofing****Irregular shapes and forms****Solid fencing facing street frontage****Solid street facing fencing behind the building line**

Past 5



P5

Sustainable living requirements

As part of the energy efficiency, site management, energy package and sustainability vision for Ginninderry, a number of requirements around electrical and water appliances have been mandated. These inclusions will help you save money on the ongoing energy and water costs of your home, and make your home a more liveable place.

We do not intend to provide mains gas connections to residential blocks within Neighbourhood 1 of Ginninderry. This decision eliminates added costs to residents of gas supply and enables better use and more affordable, renewable energy supply through solar PV panels. This not only saves you money upfront but also reduces the ongoing running costs of your home.

- For more information about the environmental and economic benefits of the Ginninderry Home Energy Package, please refer to the Smart Living Booklet + Energy Fact sheet at www.ginninderry.com/sales/buyers-toolkit.

PV (solar) panels

At Ginninderry, every home will be required to install a Photovoltaic (PV) system. Installing a PV system will generate renewable electricity from the sun and thereby reduce greenhouse gas emissions.

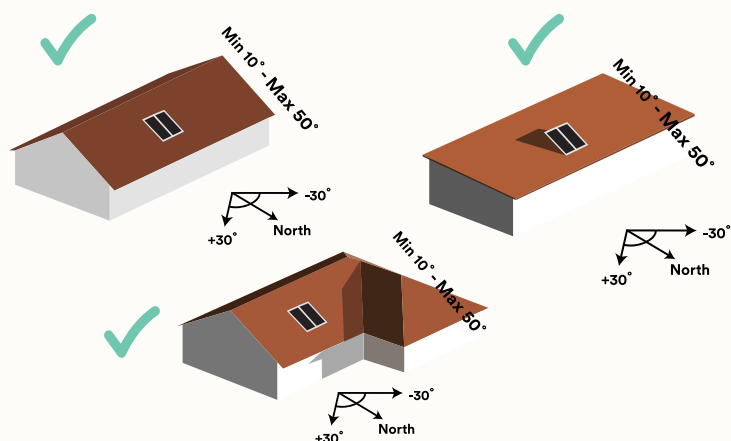
Installing a PV system on your home will generally mean a reduction in your energy bills of approximately one-third. The reduction in energy bills will vary from household to household depending on how much energy you use, your house size and how many people live in your home.

In the ACT region, solar panels are most efficient when they are:

- facing north
- tilted at 30° from the horizon
- not overshadowed.

It is therefore important to consider the location of your PV system when designing your roof so that your panels work most effectively. By mounting your solar panels flush with your roof, you will also save money on any additional cost of framing.

Ideal Location of solar panels



P5

Estimated annual solar generation based on panel orientation and tilt

Direction	Tilt relative to horizon						
	0° (flat)	10°	20°	30° (standard)	40°	50°	60° (steep)
West (270°)	87%	87%	86%	83%	79%	75%	70%
North West (315°)	87%	93%	96%	97%	95%	92%	87%
North (0°)	87%	94%	98%	100%	99%	96%	91%
North East (45°)	87%	92%	95%	95%	94%	91%	86%
East (90°)	87%	88%	86%	84%	80%	76%	71%

The table above provides you with an overview of the average solar generation and potential electricity bill savings for various system sizes installed in Canberra (based on the important principals already mentioned: panels facing north and tilted at 30 degrees with no shading issues).



P5

Inverters

An inverter is a unit connected to your PV panels and is one of the most important elements of your Home Energy System. A solar inverter converts the variable direct current (DC) output from your PV panels and converts it to alternating current (AC). This AC electricity is then fed into your home to operate your appliances.

A hybrid inverter allows for a battery storage unit to be installed in the future without the need for a separate inverter. These can be useful if you (or any new owners in the future) decide to install a battery storage unit in your home.

Home Energy Management System

Each house in Ginninderry is required to install a Home Energy Management System (HEMS). A HEMS (sometimes called a Home Energy Management System) is a device installed either within your switchboard or operating over the internet that connects to your PV system, your battery (if installed) and other electrical appliances.

The DMS provides you with real-time information about your electricity generation, usage (and even storage) through an app installed on your phone or laptop. A DMS can also be used to manage community-wide energy usage and generation in order to protect the electricity network and minimise energy costs.

Compatibility

Home Energy Management System use Inverter technology to manage energy usage. It is therefore important to check that your inverter and DMS are compatible.

A list of compatible systems (often updated) can be found on the Buyers Toolkit section of Ginninderry.com.

Choosing a Supplier

The ACT Government's Next Generation Energy Storage (Next Gen) Program includes a number of suppliers that have been selected to provide solar and battery storage installations in the ACT. Ginninderry works with companies on the Next Gen Program to ensure that their products meet the home energy package requirements listed within this document.

For more information, please visit the Buyers Toolkit section of Ginninderry.com and the ACT Government's Next Generation Program at <https://www.environment.act.gov.au/energy/cleaner-energy/next-generationrenewables>.



Minimum requirements

- A PV system with a home energy management system and compatible inverter must be installed at every home in Ginninderry
- Detached dwelling must include the following minimum PV sizes:

Block size (m ²)	Mandatory minimum PV size (kW)
0 < 250	2
251 < 350	3
351 < 500	4
> 500	5

- Where PV panels are located on the roof section fronting the street, they must be installed to sit flush with the roof. Therefore a hip roof is possibly the best roof form to be used for your house design in this instance.
- The home energy management system must be capable of home power management, smart meter connections and installed to manage the photovoltaic array, inverter and AC connection to the electrical distribution network. The unit must also be capable of controlling the following electric appliances:
 - hot water systems
 - heating and cooling systems (e.g. reverse cycle air conditioners)
 - smart plugged devices.
- All hardware components must be installed by an accredited electrician

The Reposit Power, Combined Energy and Evergen home energy management system have been assessed to satisfy the above requirements and can be installed by suppliers on the Next Generation Energy Storage Program. Other DMS units will need to be assessed for compliance and as such an additional assessment fee will apply of \$2,500 (plus GST).

Please refer to the Buyer's Toolkit at Ginninderry.com for more information on compatible systems.

Design tips

Consider increasing the size of your PV System if possible. Your PV system should be sized to reflect the amount of energy you use, your house size and how many people live within your home.

Consider installing an in-home battery storage unit. This will allow you to store excess solar power during the day for use overnight. Additional subsidies for the installation of residential batteries are available through our pre-qualified suppliers.

Install your home energy management system (HEMS) to monitor and manage as many high energy-using appliances as possible.

For more information read our Home Energy Factsheet and Smart Living brochure available in the Buyers Toolkit section of ginninderry.com



P5

Hot Water Systems

Heat pumps

Heat pump hot water systems use the same technology as reverse cycle air conditioners. They can be highly efficient because most of the energy used to heat the water is extracted from the outside air.

There is a common but mistaken view that heat pump hot water systems are not suitable for the Canberra climate. This is certainly the case for some models and it is generally true that the efficiency of a heat pump hot water system is sensitive to the surrounding air temperature.

However, there are several models specifically designed to cope with colder climates. These include:

- **Sanden Eco Hot Water Heat Pump** <https://www.sanden-hot-water.com.au/>
- **Stiebel Eltron Heat Pumps** <https://www.stiebel.com.au/hot-water-heat-pumps>

Look for systems with frost protection and 30 STCs or greater (Small Technology Certificates). The more STCs a system achieves, the better. Check the technical data available for the system – ensure that the temperature application range listed includes temperatures down to -5°C.

Your heat pump hot water system can also be coupled with your PV system to ensure that water is mostly heated when the sun is out and your PV panels are producing energy. Talk to your builder or solar provider about this.

Rooftop solar hot water system

Owing to the mandatory requirement to include solar PV systems there is not a requirement to install rooftop solar hot water systems (as both require north facing roof space for best operation). However, if you have enough roof space and wish to install a solar hot water system, take note of the following tips.

If solar water heater collectors have been installed they should be:

- oriented between +45 degrees and -45 degrees from True North
- inclined 10 degrees to 50 degrees from the horizontal plane in the northerly direction
- not overshadowed.

As these systems have a visual impact on the streetscape, you must not locate them on the street frontage.

For this and other reasons to do with costs, we encourage our residents to consider a heat pump for their hot water system.

P5**Design tips**

Look for heat pump systems with frost protection and more than 30 Small Technology Certificates (STCs).

A great way to maximise the energy from your PV panels is to use excess power generated during the day to directly heat your hot water (rather than sending it back to the grid).

It also makes economic sense to maximise your roof space for PV panels rather than installing a rooftop solar hot water system. (Power from PV can be used for lots of things, not just heating water.) That's why we recommend installing a heat pump hot water system rather than a rooftop solar hot water system.

For more information read our Smart Housing Design booklet available under the Buyers Toolkit at ginninderry.com

**Minimum requirements**

- All dwellings must have a solar or heat pump water heater installed that complies with Section B2.4 (b) of the Plumbing Code of Australia (Volume 3, National Construction Code, 2019) or the most current equivalent hot water heater performance at the time of installation
- Rooftop solar hot water collectors are not permitted on the roof fronting the street
- Ensure that the temperature application range listed includes ambient air temperatures down to -5 °C.



P5**Energy efficient heating and cooling**

As the energy efficiency of your house increases, the amount of heating and cooling required to keep your house at a comfortable level should decrease.

If you are considering installing mechanical heating systems, consider not only the upfront cost of the system but also the ongoing running cost. The higher the Energy Efficient Ratio (EER) and Coefficient of Performance (COP) of your system, the cheaper it will be to run.

**Minimum requirements**

- If heating and/or cooling systems are installed, they must be one (or more) of the following:
 - reverse cycle air conditioning that achieves a minimum:
 - Energy Efficiency Ratio (EER) of 3 for the cooling cycle
 - Coefficient of Performance (COP) of 3.5 for the heating cycle
 - air conditioning with a cooling cycle only that achieves a minimum Energy Efficiency Ratio (EER) of 3
 - ducted evaporative cooling with a self-closing damper
 - ground source heat pump.

Design tips

The sun is a free heater! Make the most of it by designing your home to let in sunlight during winter (and keep it out during summer). Use passive cooling and natural ventilation before considering expensive heating and cooling systems.

Consider increasing the EER (energy efficiency rating) of your home to reduce the amount of energy needed to heat and cool your home.

Draught proof and insulate your home to ensure that you give your home the best chance of keeping in the heat you are paying for. Think about zoning your home so that you are only heating/cooling the areas of the house you use.

Consider the location of any outdoor air conditioning unit and its noise impact on you and your neighbours.

For more information read our Smart Living brochure available under the Buyers Toolkit at ginninderry.com



P5**Water efficient fixtures****Minimum requirements**

Water efficient fixtures and fittings must be installed with the following minimum star rating in accordance with the Water Efficiency Labelling & Standards (WELS) Scheme:

- showerheads - 3 star with flow rate of less than 9 litres/minute
- tapware in kitchens and wet areas - 4 star
- toilets - 4 star.

Design tips

Consider installing higher star rated fixtures and fittings. The more efficient, the more water and money you'll save.

For more information read our Smart Living brochure available under the Buyers Toolkit at ginninderry.com



P5

Rain Water Tanks

At Ginninderry, Water Sensitive Urban Design (WSUD) features are incorporated throughout the development – bio-retention swales, wetlands and basins are provided to capture, cleanse, recycle and filter water on-site as well as discharging environmental flows in to the Murrumbidgee River and Ginninderra Creek.

Residential rain water tanks are also an important feature in Ginninderry's WSUD treatment as they allow for more water to be retained and reused within the development (instead of that water flowing into the Murrumbidgee River system). Therefore, rain water tanks are required to meet (at least), the minimum specifications noted below. In some cases, these requirements are higher than specified in the Territory's Plan Single Dwelling Housing Development Code.

The following website has useful information regarding rain water tanks:

https://www.planning.act.gov.au/__data/assets/pdf_file/0004/890779/Rainwater_tanks.pdf



Minimum requirements

- Rain water tanks must be installed in accordance with R6.1 of the Single Dwelling Housing Development Code including minimum roof capture areas and internal and external connection requirements.

Block size (m²)	Mandatory minimum (litres)
0 < 250	N/A
251 < 350	2,000
351 < 599	4,000
600 < 800	8,000
> 800	10,000

Design tips

Save money on mains water by connecting your rain water tank to your toilets, laundry (cold water) and all external taps.

For more information read our Smart Living brochure available under the Buyers Toolkit at ginninderry.com



P5**Dog & Cat containment**

An ACT study has revealed that domestic cats are responsible for killing a variety of native birds and animals. As a result, the ACT Government has identified certain suburbs within the ACT as cat containment areas to ensure that the native wildlife are not at risk from domestic cats. Ginninderry is a cat containment area.

The ACT Government also requires that dogs can only be off-leash within designated fenced dog parks or designated off-leash areas. At Ginninderry, there will be dog parks located throughout the neighbourhoods for off-leash areas. Otherwise, dogs must remain on leash in all public areas, dogs (including on leash) will not be permitted in the Ginninderry Conservation Corridor.

**Minimum requirements**

- Ginninderry has been identified by the ACT Government as within a Cat Containment Area. As a cat owner living in a containment area, it is your responsibility to ensure your cat remains within your premises at all times so it cannot roam. This does not necessarily mean it needs to stay inside your home. Many cat owners have cat runs which are outdoor areas where cats can be contained. More information can be obtained at: <http://www.tccs.act.gov.au/city-living/pets/cats/cat-containment>
- Dogs must remain on leash in public areas except within designated off leash areas such as dog parks
- Dogs are not permitted in the Conservation Corridor.

Roof Colours and Solar Absorptance

Typically roof manufacturers will categorise their roof colours into Light (<0.475 solar absorptance), Medium (0.475-0.7) and Dark (>0.7). Lighter coloured roofs will generally keep your roof space and home cooler on a hot day. Dark coloured roofs have a high solar absorptance – meaning that they absorb more heat from the sun, which adds to the urban heat island effect by re-radiating heat into the atmosphere. We recommend selecting a roof material with Light or Medium solar absorptance ratings.



Past 6



P6

Site works and landscaping requirements

The urban areas of Ginninderry adjoin a very large Conservation Corridor along the Murrumbidgee River and Ginninderra Creek. The Corridor will be progressively “handed over” to a Conservation Management Trust that will be responsible for the care, control and management of that land for the benefit of the community.

Please refer to our website www.ginninderry.com for further details.

Within the urban area, our planners and scientists have worked hard to preserve, where possible, remnant native trees in parks and open spaces. Within Neighbourhood 1 we will be trialling with the Australian National University (ANU) a variety of landscaping techniques to provide a range of open space experiences, with traditional parks through to compact urban bush areas, with the hope that the mix of park types will support and enhance biodiversity both within the urban areas and linking to the Corridor.

Canberra has a fine reputation as a garden city, and while the character of our urban areas has evolved, all homeowners can still positively contribute to the urban landscape and biodiversity enhancement in the way you design your garden and the nature strip.

The following sections outline the minimum mandatory requirements for erosion and sediment control, drainage, air and noise pollution, construction and demolition waste, sloping sites, retaining walls, fencing, courtyard walls, front landscaping, driveways, services and ancillary structures, and designing for bushfires.



P6

Erosion and sediment controls

At Ginninderry, environmental protection is paramount.

Ginninderry is surrounded by significant environmental features, especially the Conservation Corridor, with the Murrumbidgee River and the Ginninderra Creek on our doorstep.

It is important that construction activities do not have an adverse impact on these significant environment and natural features. Your builder will be required to implement appropriate erosion and sediment control measures on your block to avoid adverse impacts on the Ginninderry environment.



Minimum requirements

- As part of the design approval process, a plan showing erosion and sediment controls must be provided for approval by Ginninderry
- Prior to commencing any construction on the block, the measures shown on the approved erosion and sediment controls plan must be established

We will be doing regular inspections to ensure these measures are in place and maintained throughout the construction phase

If purchasers and/or their builder are in breach of the erosion and sediment control measures, Ginninderry will advise you to rectify. If the breach is not rectified within the specified time, we may elect to use your Compliance Bond (either in part or in full) to rectify the breach.

Please refer to www.ginninderry.com/sales/buyers-toolkit for the Erosion and Sediment Controls Fact Sheet as a guide to the minimum controls required prior to your builder commencing construction on site.



Your site must have correct measures to prevent silt run off into adjacent blocks or to the street during construction.



P6

Drainage

Managing storm water leaving your site during and post construction is important to minimise the risk of polluting the downstream waterways. The following minimum requirements have been mandated to ensure that the drainage from your block is properly managed to minimize the environmental impact on the river corridor.



Minimum requirements

- Purchasers acknowledge the potential for polluted stormwater to leave their block during and after construction
- Purchasers are responsible for ensuring that:
 - adequate drainage for their block is provided to ensure there will not be any concentrated overland flow from the block, during and after construction
 - construction on the block that alters access of storm water to the existing storm water system does not result in concentration of runoff onto adjacent blocks
 - adequate soil and stormwater management controls are maintained until the landscape on the block is established.

Air and noise pollution

The Environmental Protection Authority (EPA) in the ACT has standards which apply to noise emissions and air quality associated with construction. Further information can be downloaded from the following website:

[https://www.accesscanberra.act.gov.au/app/answers/detail/a_id/3149/~environment-protection](https://www.accesscanberra.act.gov.au/app/answers/detail/a_id/3149/~/environment-protection).

It is important that you and your builder are aware of the requirements as set out by the EPA.



Minimum requirements

- Purchasers must comply with all government requirements relevant to building works on the block including but not limited to the minimisation of dust, burning waste material and any increased noise activity
- Solid fuel heaters (e.g. wood burning slow combustion stoves) are restricted to pellet heaters or units that have an overall efficiency standard of not less than 65% and an emission standard not greater than 1g/kg.

Further information in relation to air and noise pollution requirements can be obtained from:

Canberra Connect

13 22 81

www.environment.act.gov.au



P6

Construction and demolition waste

Waste generated during construction is significant. The conventional means of waste disposal to landfill is becoming more and more costly to the purchaser as well as having an impact on the environment. We encourage you to talk to your builder about how to reduce waste and associated costs which gets passed onto you during construction by adopting a waste management strategy to reduce the amount of waste going to the tip through sorting and recycling.



Minimum requirements

- During construction on the block, builders must establish and maintain a waste enclosure or waste containment area on the block
- You and/or your builder must ensure that all building materials and waste stock piles are:
 - fully enclosed to prevent material being blown off the block
 - located within the block and clear of verges.
- You must obtain approval from TCCS (Transport Canberra and City Services) if you wish to store material on the verge or other Territory land.

For further information, contact:

Canberra Connect 13 22 81
nowaste@act.gov.au



Your builder should provide correct waste/recycling areas during construction. A demonstration of this is within the Display Village at Ginninderry.





P6

Sloping sites

Designing your house to respond to the slope of the block can save money in excavation and fill costs. Alternatives to slab-on-ground construction are encouraged where the gradient and topography of the block mean that bulk excavation and/or filling are inappropriate. Split level designs are a way to meet these requirements and ensure minimum site disturbance during construction.

Houses should be designed to respond to the natural topography of the site as well as utilising the site's opportunity for views and aspects. A well designed home that responds to the natural topography provides a number of benefits:

- enhanced views
- reduced visual bulk from the street
- better amenity and privacy from adjacent neighbours
- reduced costs associated with extensive earthworks and retaining walls.

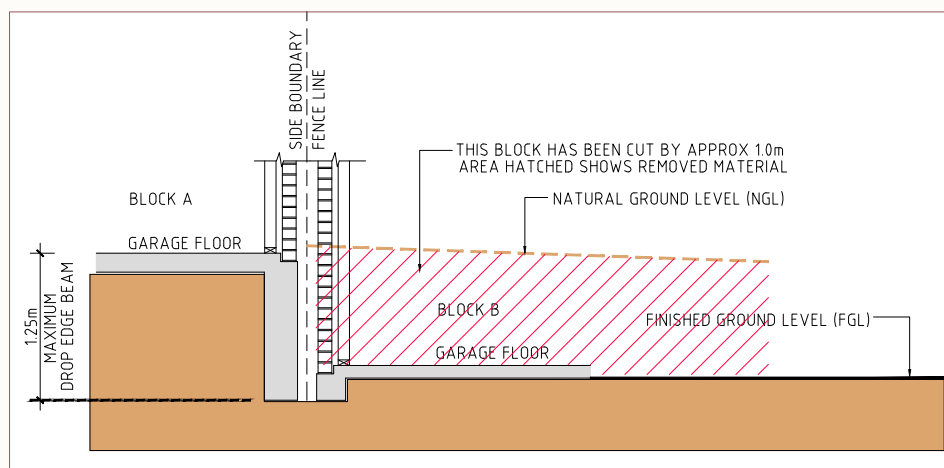
At Ginninderry, there will be two types of sloping blocks: blocks that have been benched with nominated pad levels for the house and the garage; and blocks that have not been benched to provide flexibility to respond to the block's natural topography. Refer to the Individual Block Plans for details.

Split level house design is recommended for sloping blocks with more than 1–1.5m slopes across the site (whether it is from side to side or front to back). The garage level should take the street level into consideration and avoid the need for steep driveways.



Minimum requirements:

- Where a bench level is provided, garages are to be constructed no greater than 500mm above the nominated bench level
- Where garages are located on the boundary a drop beam structure must be constructed to a maximum 1.25m below the natural ground level to enable the neighbour to be able to lower the ground level to suit their home, unless an approved plan showing the FFL of the neighbouring garage is not lower than the adjacent FFL.



P6

Retaining Walls

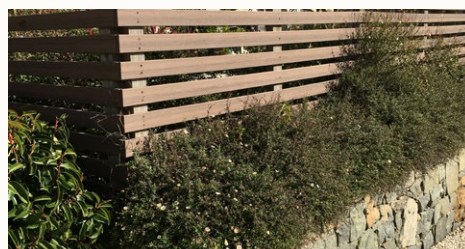
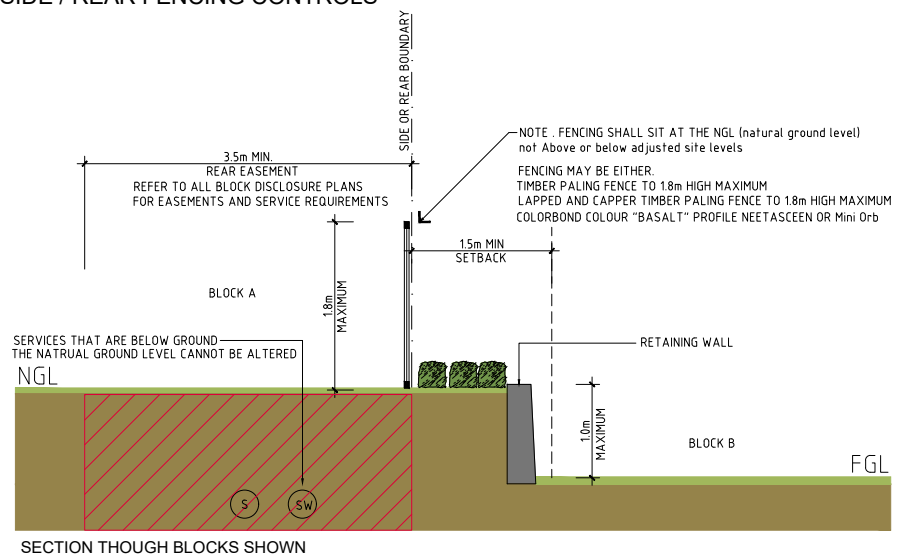
Extensive earthworks which require extensive retaining walls should be limited, to minimise construction costs and avoid adverse impacts to neighbouring properties and the appearance of your site from the street and other public places.



Minimum requirements

- The height of site cuts along the side and rear boundaries and within 1.5m of the boundary is restricted to a maximum of 1m, with any boundary retaining wall also not to exceed 1m in height. Where there are services easements, the natural ground level above these easements cannot be altered.
- Retaining walls in front of the building line and generally parallel to the street must be stone, masonry or split face concrete blocks. Timber or concrete sleepers are not permitted beyond the front of the building line
- Retaining walls along side boundaries protruding forward of the building line must be tapered or stepped in line with the finished ground level at the front boundary

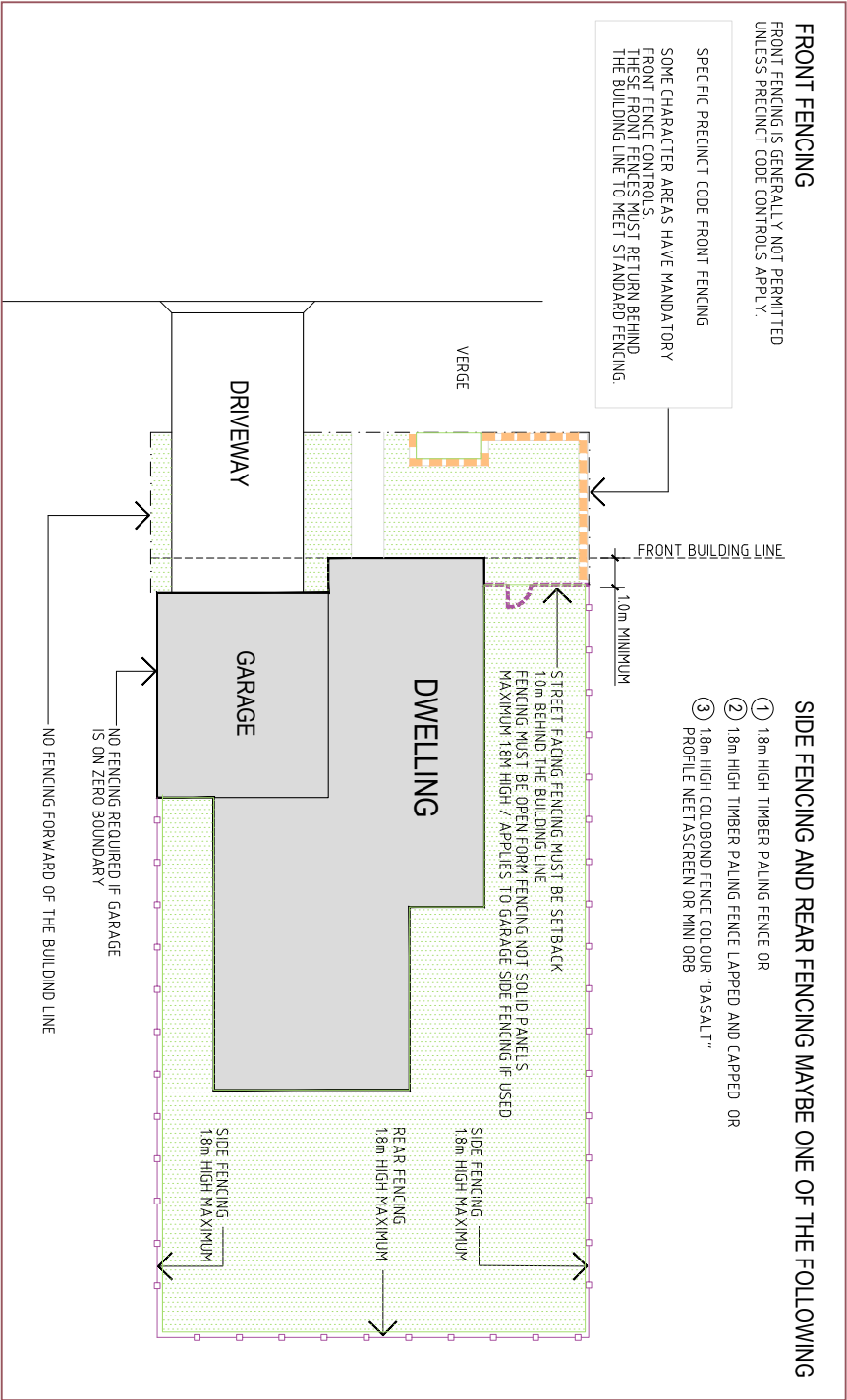
GINNINDERRY DESIGN REQUIREMENTS SIDE / REAR FENCING CONTROLS



P6

Typical fencing plan

Your design approval application should include a comprehensive fencing plan that shows all side, rear and any precinct code front fencing requirements as shown below.



P6

Street facing fencing

Solid fencing facing street frontages is not permitted. Open form painted or powder coated aluminium fencing is permitted.



Inter-allotment Fencing

Internal side and rear fencing may be 1.8 meter high timber paling fencing or lapped and capped timber paling fencing.

If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt".



Fencing and courtyard walls

Fencing and courtyard walls play a significant part in enhancing the streetscape. The Territory Plan does not permit front fencing unless the block has been identified within the Precinct Code to permit front fencing.

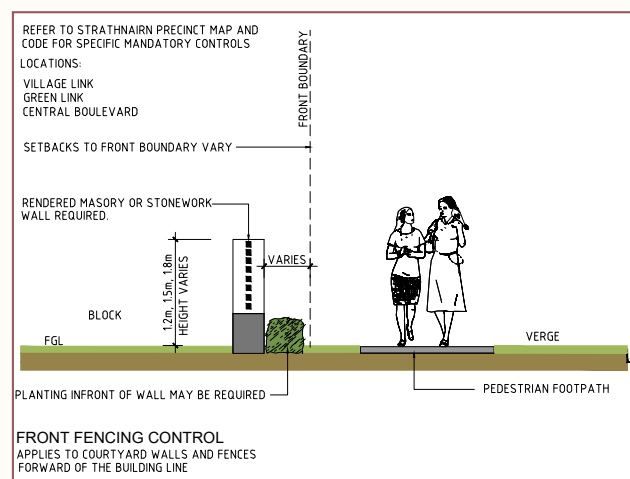
Refer to the Fencing Controls Plan for fencing requirements to your block.



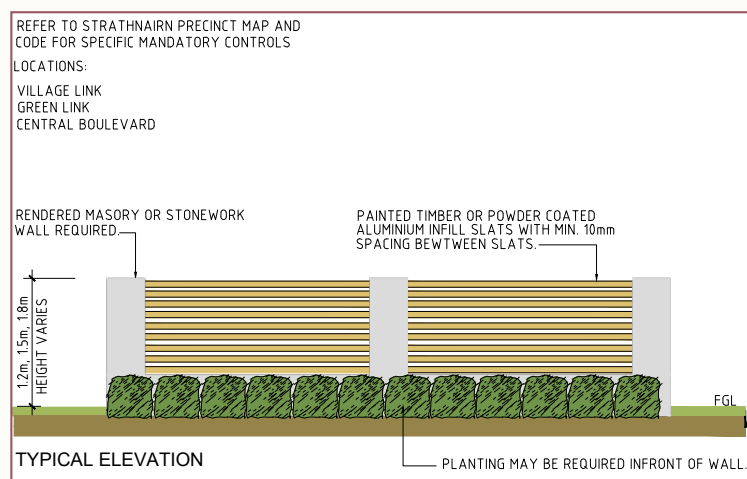
Minimum design requirements:

- Colorbond solid fencing, chain mesh fencing, paling fences or raw or treated pine fencing must terminate at a minimum 1m behind the building line. These types of fencing are not permitted beyond the front of the building line
- For garages located on a zero setback, fencing must terminate at the rear of the garage
- Front fencing and gates where permitted, that are parallel to the front boundary are to be either painted finish for treated pine, stained timber hardwood, or powder-coated aluminium slat fencing with minimum 10mm gaps with a max 1.8m in height (See Design Sketches 1 and 2 on page 52)
- For front fencing to sloping lots, where permitted, the maximum combined height of retaining wall and fencing is 2.2m with a maximum height of 1m for the retaining wall. The 1.2m high fencing must also be set back from the retaining wall by minimum 600mm (See Design Sketch 3 on page 52)
- Courtyard walls and fencing forward of the building line must be a combination of solid and semi-transparent elements that are constructed of the following:
 - masonry or stonework;
 - dressed hardwood timber; or
 - powder-coated aluminium.
- Openings to be a minimum of 10mm.

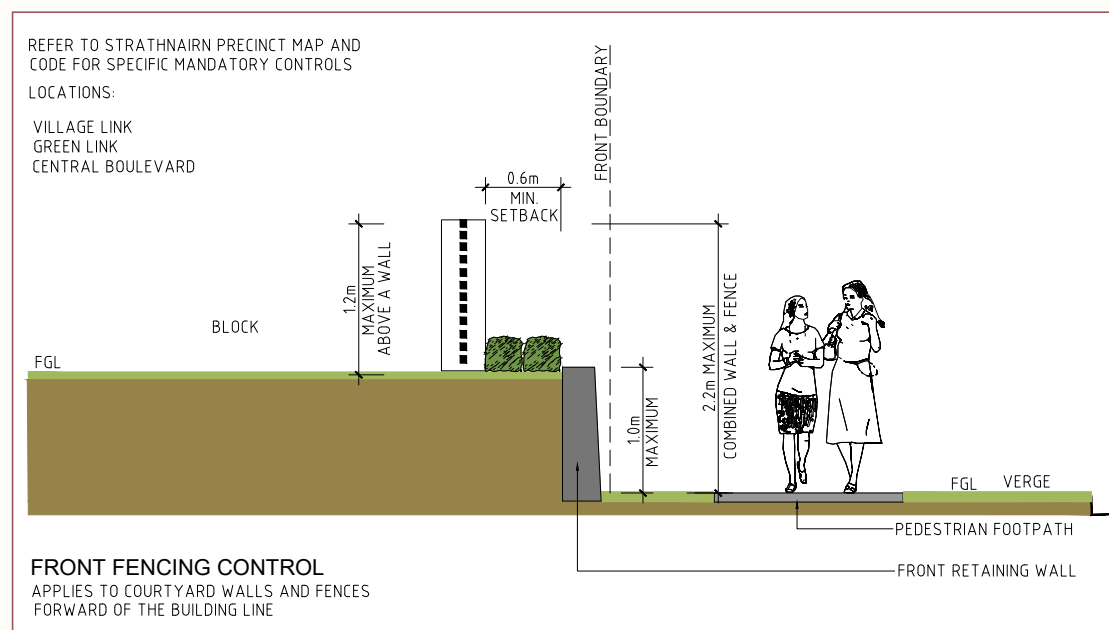
Design Sketch 1



Design Sketch 2



Design Sketch 3



P6

Front landscaping

Well-designed landscaping of your front garden is important in establishing a cohesive and attractive streetscape.

At Ginninderry, the front landscaping to your block will be provided by the developer subject to you meeting the requirements for the return of the Compliance Bond. Once your house is completed including the driveway, letterbox, retaining wall, front courtyard and fencing, we will attend to the landscaping of your front garden. Upon a final inspection by the Compliance Officer, you will be required to contact Ginninderry to arrange an appointment to select a design for your front garden.

A number of landscaping designs have been provided to help you select a front garden design that will suit your home and lifestyle.* These designs can be downloaded from the following link: www.ginninderry.com/sales/buyers-toolkit

Plant selection will be based on availability from local nurseries and their suitability within Ginninderry. Once your preferred design has been selected the Landscape Manager will confirm the expected installation date for the landscaping which will be completed in batches with other blocks that are also ready for installation. Note that typically it is anticipated that the front landscaping works to your block will be commenced within 3 months from the time of order, however depending on the time of year and/or the availability of plant types selected the timeframe may be longer.



Minimum requirements:

- A Compliance Bond inspection has been completed and the works have been finished to the approved designs, including meeting the building timeframe as outlined in Part 2
- Ensure the front yard is clear and free of builders' rubble and rubbish and the area to be landscaped is readily accessible
- Complete Front Landscaping Application Form.

Note: Synthetic turf is not permitted to frontages or front landscape elements within Ginninderry.

*Landscaping of the front garden is not provided to Streetscape Plus sites.



P6

Driveways

A single kerb crossing will be provided by the developer which identifies the driveway location to your block. Under the Contract of Sale, you are responsible for constructing a driveway from the kerb crossing to the garage.



Minimum requirements:

- Driveways must be plain concrete or 3-5% oxide.
- Exposed aggregate finishes, painted or dark sealed finishes are not permitted
- Bright colours, contrasting patterns and granular/crushed rock driveways are not permitted
- Kerb crossings will be provided at the preferred location for each block. If a purchaser wishes to relocate the kerb crossing, the purchaser is responsible for all approvals and costs associated with relocation.



P6

**Services and ancillary structures**

Services such as meter boxes, NBN and electricity cabinets can have an adverse impact on the overall appearance and the value of your home if not well located.

At Ginninderry, you will be required to consider the placement of all services and ancillary structures and indicate their proposed locations on the drawings submitted to the Design Coordinator for approval.

**Minimum design requirements:**

- Water meter, electrical meters and NBN cabinets must be located in such a way that they are either integrated within the building wall or screened from the street and public spaces
- Solar Panels and solar HWS must sit flush with the roof pitch if located to the front of the house
- Aerials, satellite dishes, antennas, heat pumps, A/C units and evaporative units are to be located to the rear or side of the house
- Clothes drying lines and garbage bins are to be located to the rear or side of the house. If they are located to the side of a house that is within the Primary Building Zone of the Territory Plan they must be screened from public view
- Sheds and outdoor structures can only be located in the rear yard and must not be visible from the street and public spaces.

Designing for bushfire

Where blocks have frontage to a road and adjoining the Ginninderry Conservation Corridor (i.e. an "edge" road), the road and some of the land beyond the road will be managed as an Asset Protection Zone. The purpose of an APZ is to minimise the threat of bushfire impact upon adjoining and nearby properties. The standard APZ zone is about 40m in the ACT land whilst the NSW land will vary depending on the vegetation present within the Conservation Corridor.

Under the current Building Code, blocks which are identified within bushfire prone areas are required to be constructed to comply with a Bushfire Attack Level (BAL). There are six BAL categories ranging from low to extreme risk. The higher the BAL level, the more stringent requirements for the construction of your new home.

The blocks adjacent to the Conservation Corridor in Neighbourhood 1 have been identified to be of very low risk and do not require a BAL rating. Therefore, no additional construction requirements are required.

However, the list below provides suggestions for your consideration when designing your home to protect your home against ember attacks during a bush fire:

For more information on BAL ratings refer to <http://www.accesscanberra.act.gov.au/ci/fattach/get/114731/1479769786/redirect/1/filename/Requirements+for+building+in+bushfire+prone+areas.pdf>

Your designer or architect may wish to refer to AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.

For further information contact:
Canberra Connect 13 22 81

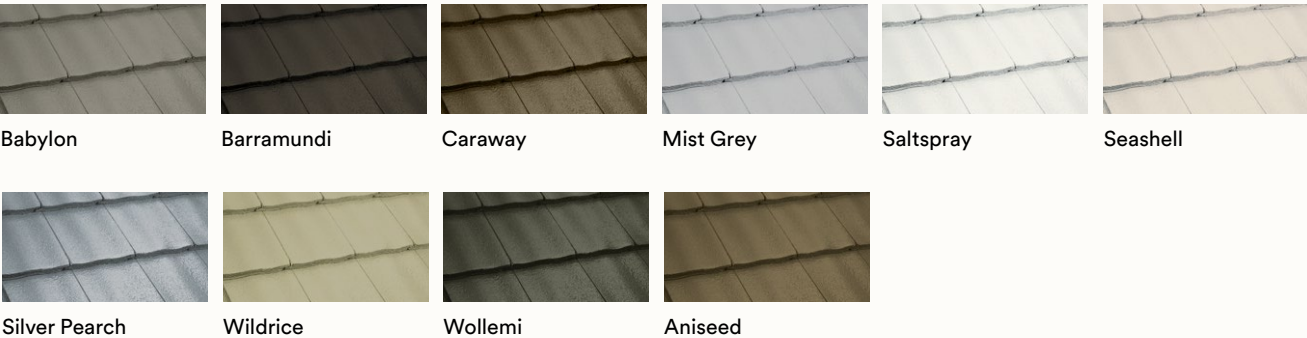


Appendix A – Pre-Approved Colours and Materials Palette

Typically roof manufacturers will categorise their roof colours into Light (<0.475 solar absorptance), Medium (0.475-0.7) and Dark (>0.7). Lighter coloured roofs will generally keep your roof space and home cooler on a hot day. Dark coloured roofs have a high solar absorptance – meaning that they absorb more heat from the sun, which adds to the urban heat island effect by re-radiating heat into the atmosphere. We recommend selecting a roof material with Light or Medium solar absorptance ratings.

Roof tiles – Monier

Atura

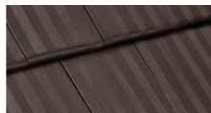


Horizon



Roof tiles – Boral

Artline



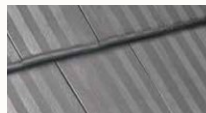
Earth



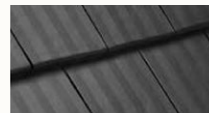
Fossil



Basalt



Night Quartz



Eclipse

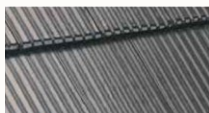


Asphalt

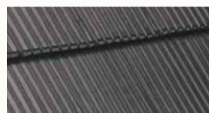
Wave



Earth



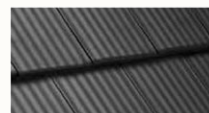
Fossil



Basalt



Night Quartz



Eclipse



Asphalt

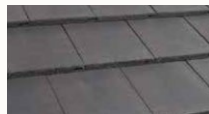
Vogue



Shale



Gunmetal



Charcoal Grey



Stonewall



Taupe

Contour



Quartz



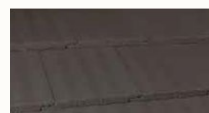
Taupe



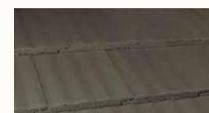
Walnut



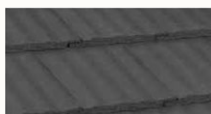
Shale



Gunmetal



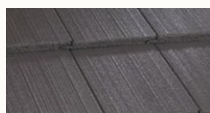
Peat



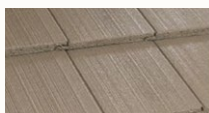
Charcoal Grey

Roof tiles – Boral (cont.)

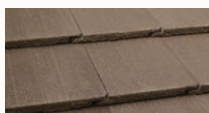
Striata



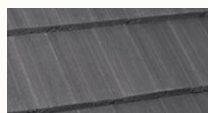
Gunmetal



Taupe

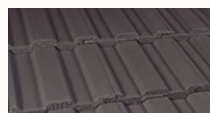


Walnut



Charcoal Grey

Slimline



Gunmetal



Stonewall



Taupe

Roof tiles – Bristle

Prestige



Lithium



Palladium



Titanium



Mercury



Tungsten

Classic



Pearl



Sand



Steel



Pebble



Mica



Savannah



Bark



Gun Metal

Metal Roof – Colorbond

Contemporary Colours



Basalt

Cove

Dune

Evening Haze

Gully

Ironstone



Jasper

Mangrove

Shale Grey

Surfmist

Wallaby

Windspray



Monument

Classic Colours



Classic Cream

Deep Ocean

Pale Eucalypt

Paperbark

Woodland Grey

Matt Colours



Basalt

Dune

Shale Grey

Surfmist

Fence Colour

Side and rear boundary fencing




Basalt



Window Frame Colour

Contemporary Colours

					
Basalt	Cove	Dune	Evening Haze	Gully	Jasper
					
Mangrove	Shale Grey	Surfmist	Wallaby	Windspray	Monument

Standard Colours


Natural Pearl

Selected Pearls

		
Ultra Silver	Precious Silver	Silver Medalist

Bricks – Austral

Ultra Smooth



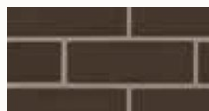
Tempo



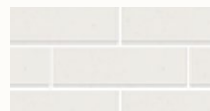
Chill



Jazz



Rhythm



Miro



Azul

La Paloma

Urban One



Silver



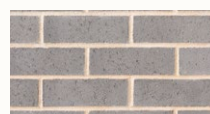
Latte



Chiffon



Pepper



Grey Gum



Silver Birch

Wilderness Design



Blue Gum



Blackberry



Blackbutt



Rosewood



Engage



Freedom

Everyday Life



Leisure



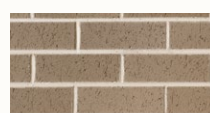
Stimulate



Unwind



Escape



Brampton



Orpheus

Whitsunday Range

Metropolis



Alabaster

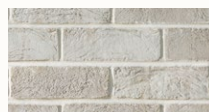
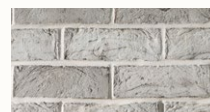
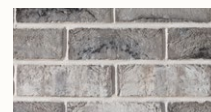


Marcasite



Topaz

San Selmo Smoked

Grey Cashmere
(feature only or arch
merit)Cloudy Silver
(feature only or arch
merit)Opaque Slate
(feature only or arch
merit)

Metallix

Wild Storm (feature
only or arch merit)

Quartz



Platinum



Titanium



Cuprum



Bronze



Gun Metal Blue



Bricks – PGH

Alfresco



Vino

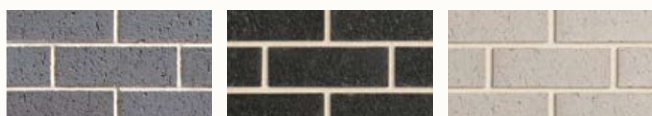
Chocolatto

Truffle

Cocoa

Espresso

Altitude

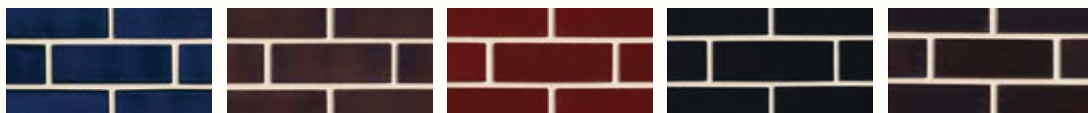


Olympus

Apollo

Matterhorn

Academy



Quantum

Alumni

Oscar

Nobel

Juilliard



Quantum

Alumni

Oscar

Nobel

Juilliard

Composite



Pebble

Aluminium

Urban Blue

Charcoal

Dry Pressed Architectural



Hawkesbury Bronze

Livingston Gold

Mowbray Blue

Macarthur Mix

Balmerino Blend

Tinto Cream



Red Rum

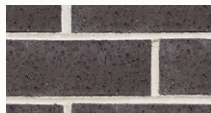
Silver Shadow

Black Beauty



Bricks – PGH (cont.)

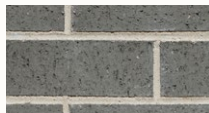
Dark and Stormy



Monsoon



Thunder



Whirlwind



Zephyr

Foundations



Gravel



Stone

Highlands



Blackheath



Leura (feature only)

Manhattan

Chelsea (feature only
or arch merit)East Hampton
(feature only or arch
merit)Tribeca (feature only
or arch merit)

Metallic



Nickel Flash

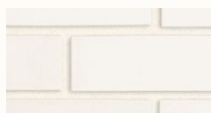


Pewter

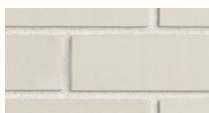


Blue Steel Flash

Morada



Blanco



Ceniza



Nero (feature only)



Gris

Opaline



Tourmaline



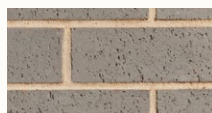
Garnet



Tiger Eye

Bricks – PGH (cont.)

Palazzo



Sorbetto

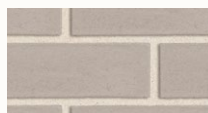
Pure Linens



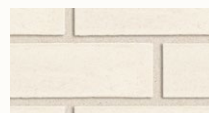
Cinders & Soot



Flannel Grey



Pebble Creek



Whispering White

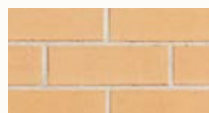
Smooth



Harvest Cream



Cashmere



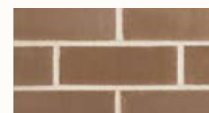
Cream



Pearl Grey



Mineral



Volcanic



Rustic Harvest Cream



Copper Glow



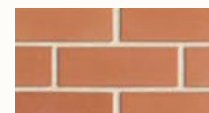
Black & Tan



Brown



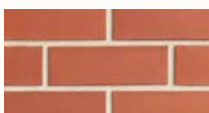
Choc Tan



Terracota



Granite



Red

Urban Essence

Melbourne Blue
(feature only)

Storm (feature only)

Velour



Crevole



Cream



Pearl Grey



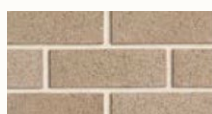
Red



Brown



Choc Tan



Mineral



Volcanic



Terracota



Granite

Ginninderry Housing Development Requirements Application Form



Ginninderry

Property details

Block	
Section	
Block size	
Suburb	

Purchaser details

Name	
Phone	
Mobile	
Email	

Architect/designer details

Name	
Company	
Phone	
Mobile	
Email	

Builder details

Name	
Company	
Phone	
Mobile	
Email	

Required documents

1. 1:200 site plan with the following details:

- Overall building envelope with setback dimensions
- Extent of any retaining walls
- Location and size of Principal Private Open Space (PPOS)
- Location and clearance of all easements
- Services locations such as electrical and NBN meter boxes, water and gas meter, water tank, condenser units, HWS, clothes line
- Finished floor levels for the house and garage as well as gradient of driveway
- Extent of driveway and location of letterbox

2. Provide a fencing plan show all precinct code fencing requirements.

- Include location of letter box incorporated in wall on as a masonry pier.

3. 1:200 erosion sediment controls plan.

4. 1:100 floor plan and roof plan(s) with dimensions and size of dwelling area.

5. 1:100 elevations with the following details:

- Natural and proposed ground level with proposed FFL from boundary to boundary
- Extent of cut and/or fill and any retaining walls, including details of the height and materials
- Roof pitch

6. Energy efficiency rating certificate for the dwelling.

8. Water fixture list.

Contact us:

E: designs@ginninderry.com

P: 1800 316 900 M: Charlotte 0411 844 645 (Tuesday to Thursday)

Ginninderry is a joint venture between the Suburban Land Agency and Riverview Developments, with Riverview Projects (ACT) Pty Ltd ABN 30 165 870 539 acting as development manager. Correct as at 26/10/2020

Ginninderry Housing Development Requirements



Ginninderry

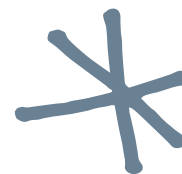
	Minimum requirements	Record for your home
Star rating as shown on your energy efficiency rating certificate	6 Star	<div>Certificate Provided</div>
Solar PV array size (kW)	Block size <250m ² : 2kW Block size 251m ² < 350m ² : 3kW Block size 351m ² < 500m ² : 4kW Block size > 500m ² : 5kW	Panel Array Size: <div></div>
Home energy management system	Reposit Power, Combined Energy and Evergen home energy management systems have been pre-approved. If an alternative system is installed, please provide a copy of a signed Alternative Home Energy System Assessment.	Brand: <div></div>
Inverter	Inverter compatible with an approved home energy management system above.	Brand: <div></div> Model: <div></div>
Hot water system	Solar or Heat Pump Systems Only Temperature range to -5°C.	Brand: <div></div> Model: <div></div>

Ginninderry Housing Development Requirements



Ginninderry

Minimum requirements		Record for your home
Heating and cooling systems		Brand:
Please select:		
Reverse cycle air conditioning		Model:
Air conditioning – cooling only		
Ducted evaporative cooling		EER: SPL:
Ground source heat pump	Cooling Cycle: EER ≥ 3 SPL < 57 Temp. Range -5°C to 43°C	
Other (please specify)		Temp Range:
	Heating Cycle: COP ≥ 3.5 SPL < 57 Temp. Range -10°C to 15°C	COP: SPL:
	<small>EER = Energy Efficiency Ratio SPL = Sound Pressure Level of outdoor unit measured at 1m. Why is this important? Read more here COP = Coefficient of Performance</small>	Temp Range:
Water fixtures and fittings		All fixtures comply
	Showerheads 3 star ($< 9\text{L}/\text{min}$) Tapware 4 star Toilets 4 star	Fixture List Provided
Rain water tank	Block Size $< 250\text{m}^2$: N/A Block Size $251\text{m}^2 < 350\text{m}^2$: 2,000L Block Size $351\text{m}^2 < 600\text{m}^2$: 4,000L Block Size $601\text{m}^2 < 800\text{m}^2$: 8,000L Block Size $> 800\text{m}^2$: 10,000L	Tank Size:
		Connected to Laundry, toilets and all external taps



Ginninderry

External colours and finishes schedule (Please tick the boxes below)

Roof Tiles – Monier

Atura

	Babylon		Barramundi		Caraway		Mist Grey		Saltspray		Seashell
	Silver Pearch		Wildrice		Wollemi		Aniseed				

Horizon

	Babylon		Barramundi		Camelot		Caraway		Mist Grey		Saltspray
	Seashell		Silver Pearch		Wildrice		Wollemi		Aniseed		

Roof Tiles – Boral

Artline

	Earth		Fossil		Basalt		Night Quartz		Eclipse		Asphalt
--	-------	--	--------	--	--------	--	--------------	--	---------	--	---------

Wave

	Earth		Fossil		Basalt		Night Quartz		Eclipse		Asphalt
--	-------	--	--------	--	--------	--	--------------	--	---------	--	---------

Vogue

	Shale		Gunmetal		Charcoal Grey		Stonewall		Taupe
--	-------	--	----------	--	---------------	--	-----------	--	-------

Contour

	Quartz		Taupe		Walnut		Shale		Gunmetal		Peat
	Charcoal Grey										

Striata

	Gunmetal		Taupe		Walnut		Charcoal Grey
--	----------	--	-------	--	--------	--	---------------

Slimline

	Gunmetal		Stonewall		Taupe
--	----------	--	-----------	--	-------

Roof Tiles – Bristile

Prestige

	Lithium		Palladium		Titanium		Mercury		Tungsten
--	---------	--	-----------	--	----------	--	---------	--	----------



Ginninderry

Roof Tiles – Bristle (cont.)

Classic

	Pearl		Sand		Steel		Pebble		Mica		Savannah
	Bark		Gun Metal								

Metal Roof – Colorbond

Contemporary Colours

	Basalt		Cove		Dune		Evening Haze		Gully		Ironstone
	Jasper		Mangrove		Shale Grey		Surfmist		Wallaby		Windspray
	Monument										

Classic Colours

	Classic Cream		Deep Ocean		Pale Eucalypt		Paperbark		Woodland Grey
--	---------------	--	------------	--	---------------	--	-----------	--	---------------

Matt Colours

	Basalt		Dune		Shale Grey		Surfmist
--	--------	--	------	--	------------	--	----------

Fence Colour

Side and Rear Boundary Fencing

	Basalt
--	--------

Window Frame Colour

Contemporary Colours

	Basalt		Cove		Dune		Evening Haze		Gully		Monument
	Jasper		Mangrove		Shale Grey		Surfmist		Wallaby		Windspray

Standard Colours

	Natural Pearl
--	---------------

Selected Pearls

	Ultra Silver		Precious Silver		Silver Medalist
--	--------------	--	-----------------	--	-----------------



Ginninderry

Bricks – Austral

Ultra Smooth		Tempo		Chill		Jazz		Rhythm	
La Paloma		Miro		Azul					
Urban One		Silver		Latte		Chiffon		Pepper	

Wilderness Design

	Grey Gum		Silver Birch		Blue Gum		Blackberry		Blackbutt
	Rosewood								

Everyday Life

	Engage		Freedom		Leisure		Stimulate		Unwind
	Escape								

Whitsunday Range

	Brampton		Orpheus		Alabaster		Marcasite		Topaz
--	----------	--	---------	--	-----------	--	-----------	--	-------

Metropolis

San Selmo Smoked

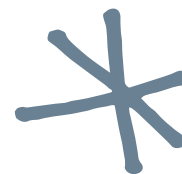
	Grey Cashmere (feature only or arch merit)		Cloudy Silver (feature only or arch merit)		Opaque Slate (feature only or arch merit)		Wild Storm (feature only or arch merit)
--	---	--	---	--	--	--	--

Metallix

	Quartz		Platinum		Titanium		Cuprum		Bronze
	Gun Metal Blue								

Bricks – PGH

Alfresco		Vino		Chocolatto		Truffle		Cocoa	
		Espresso							
Altitude		Olympus		Apollo		Matterhorn			
Academy		Quantum		Alumni		Oscar		Nobel	
		Juilliard							
		Quantum		Alumni		Oscar		Nobel	
		Juilliard							
Composite		Pebble		Aluminium		Urban Blue		Charcoal	
Dry Pressed Architectural		Hawkesbury Bronze		Livingston Gold		Mowbray Blue		Macarthur Mix	
		Balmerino Blend		Tinto Cream		Red Rum		Silver Shadow	
		Black Beauty							



Ginninderry

Bricks – PGH (cont.)

Dark and Stormy		Monsoon		Thunder		Whirlwind		Zephyr	
Foundations		Gravel		Stone					
Highlands		Blackheath		Leura (feature only)					
Manhattan		Chelsea (feature only or arch merit)		East Hampton (feature only or arch merit)		Tribeca (feature only or arch merit)			
Metallic		Nickel Flash		Pewter		Blue Steel Flash			
Morada		Blanco		Ceniza		Nero (feature only)		Gris	
Opaline		Tourmaline		Garnet		Tiger Eye			
Palazzo		Sorbetto							
Pure Linens		Cinders & Soot		Flannel Grey		Pebble Creek		Whispering White	
Smooth		Harvest Cream		Cashmere		Cream		Pearl Grey	
		Mineral		Volcanic		Rustic Harvest Cream		Copper Glow	
		Black & Tan		Brown		Choc Tan		Terracota	
Foundations		Granite		Red					
Urban Essence		Melbourne Blue (feature only)		Storm (feature only)					
Velour		Crevole		Cream		Pearl Grey		Red	
		Brown		Choc Tan		Mineral		Volcanic	
		Terracota		Granite					

Additional colour and finishes information

Driveway finish colour: _____

Retaining wall material finish and colour: _____

Courtyard wall material and finish: _____

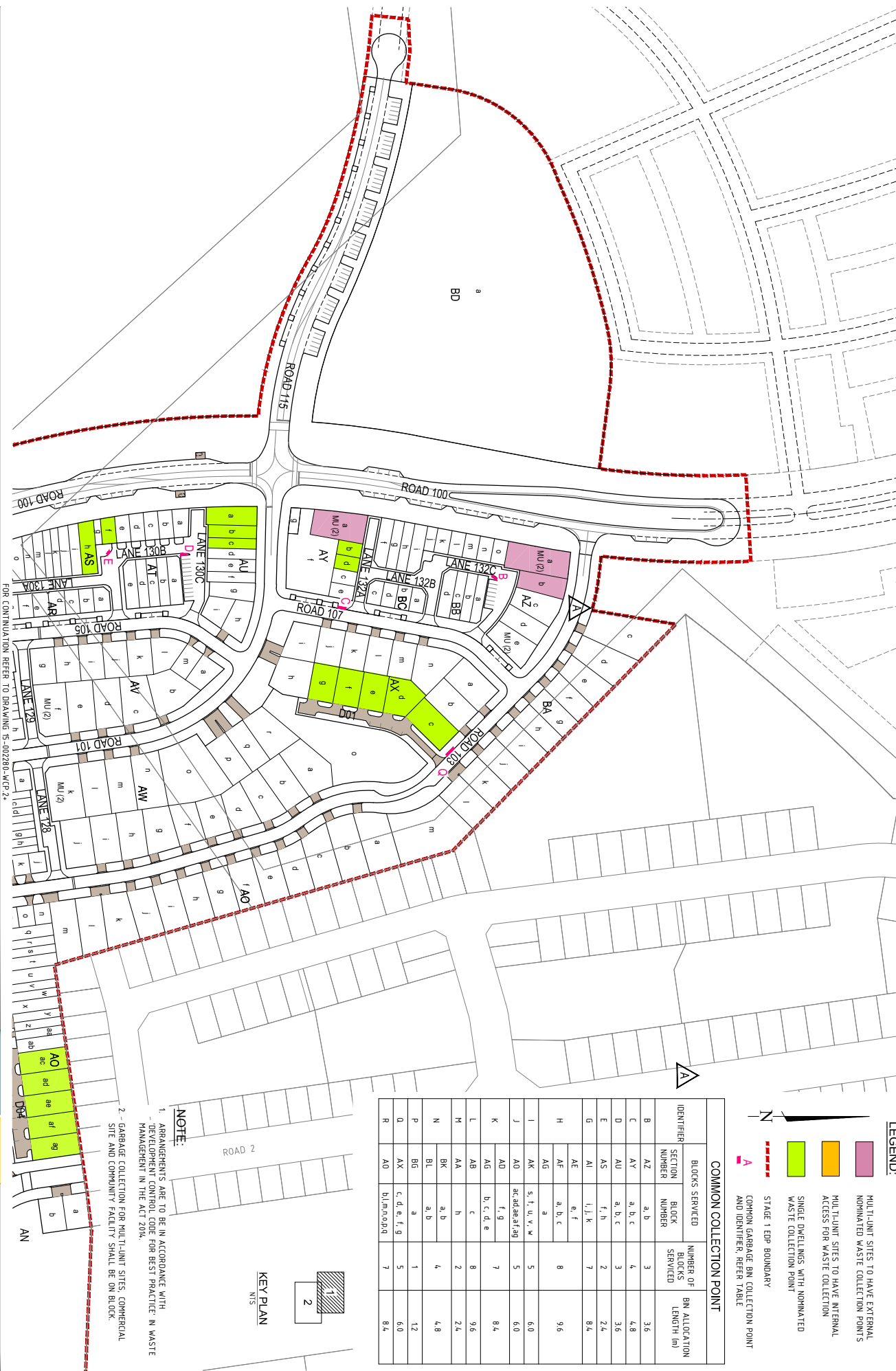
Feature materials or colours: _____

Rendered wall colours: _____

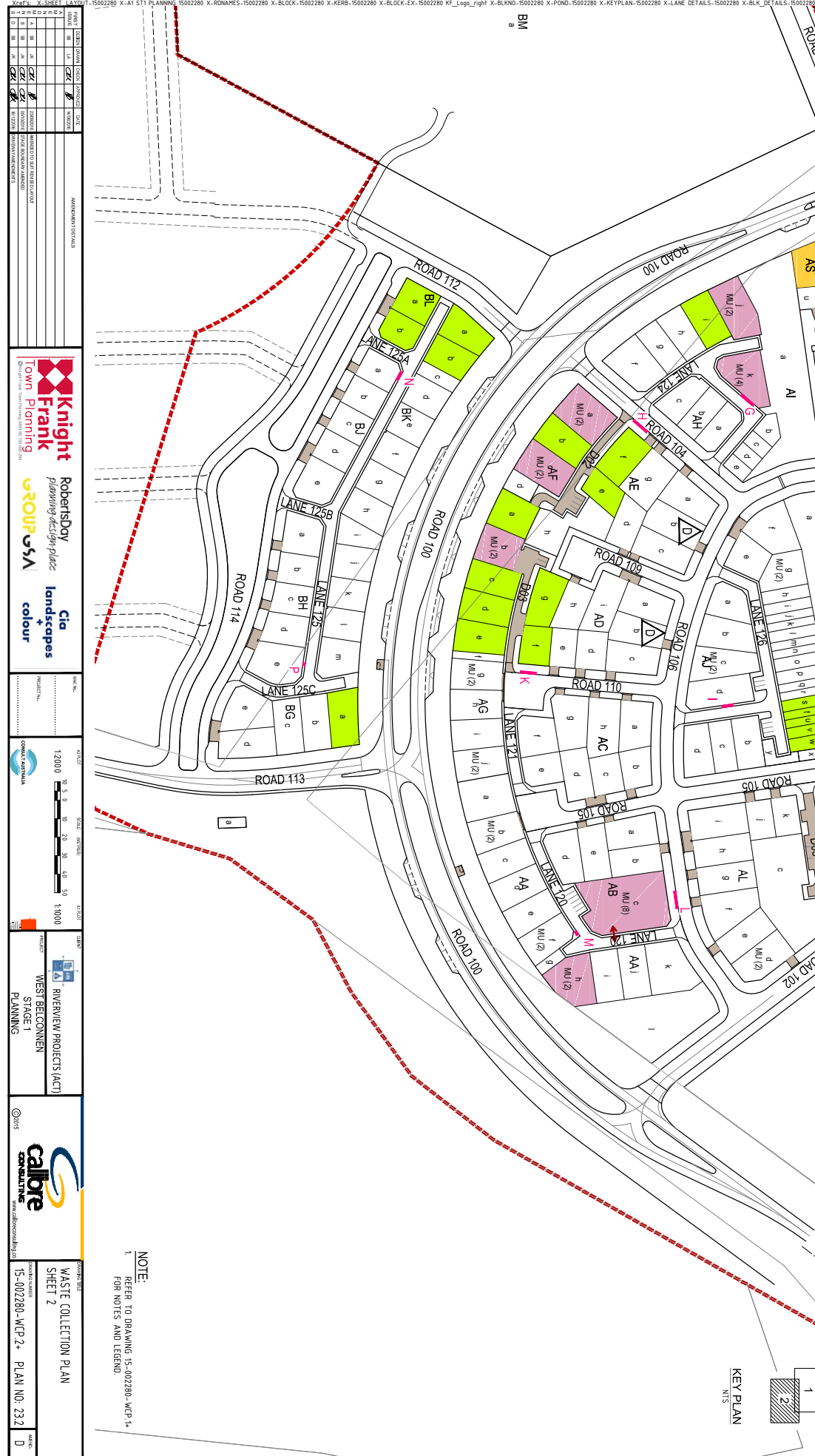
Light weight cladding: _____

Fencing along street frontage: _____

Side gate & fencing parallel to street frontage: _____

[illegible]

FILE: H:\P5\15-002280\drawing\15-002280-23 WASTE COLLECTION PLAN.dwg 4th-Oct-2016 10:03AM USER: jesse keftmann



Bin pad locations - Stage 2

PROJECT NO. 16-001983-WCP-1+
SHEET 1 OF 4
PLAN No. 23.1
DATE 16-001983-WCP-1+
C

16-001983-WCP-1+
PLAN No. 23.1
C

KNIGHT FRANK
Planning & Design
Robertson
Planning & Design
Cia
landscapes
colour

PROJECT NO. 16-001983-WCP-1+
SHEET 1 OF 4
PLAN No. 23.1
DATE 16-001983-WCP-1+
C

16-001983-WCP-1+
PLAN No. 23.1
C

1:4000
20 0 20 40 60 80 100 1200
SCALE METRES
1:2000

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C

16-001983-WCP-1+
PLAN No. 23.1
C

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PLAN No. 23.1
C

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PLAN No. 23.1
C

COMMON COLLECTION POINT			
IDENTIFIER	BLOCKS SERVED		BIN ALLOCATION LENGTH (m)
	SECTION NUMBER	BLOCK NUMBER	
A1		d, e, f, g	7.0
A2	AW	m, n, o, p, q, r, s, t, u, v, w, x, y, z	12.6
A3		y	1.4
B	BB	i	1.4
C1		cd	2
C2	AV	h, i, j	2.8
C3		u, v, w, x, y, z	6
E	AP	c	1
F	AH	a, b, c, d	6
G1		a	8.4
G2	AG	b, c	3
G3		d, e	3
G4	AG	f, g	3
H	AA	a	7
I	AB	d, e, f	9.8
J	BF	a, y	4
K	BH	n, o	2
L	BH	i	1
M	BI	e	4
N	BU	c	4
O	BU	b	9
Q	BL	a, f	2
R	BR	a	3
S	BR	f, g	11
T	BS	a, m, n	5
U	BP	h, i, j	5
V	AK	k, l	1
W	BC	c	3



FOR CONTINUATION REFER TO DRAWING 16-001983-WCP-2+

FOR CONTINUATION REFER TO DRAWING 16-001983-WCP-3+

LEGEND:

MULTI-UNIT SITES TO HAVE EXTERNAL NOMINATED WASTE COLLECTION POINTS

MULTI-UNIT SITES TO HAVE INTERNAL ACCESS FOR WASTE COLLECTION

SINGLE DWELLINGS WITH NOMINATED WASTE COLLECTION POINT

STAGE 2 EPP BOUNDARY

COMMON GARBAGE BIN COLLECTION POINT AND IDENTIFIER. REFER TABLE

NOTE:

1. ARRANGEMENTS ARE TO BE IN ACCORDANCE WITH THE WASTE MANAGEMENT ACT 2014.

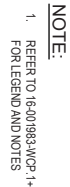
WASTE COLLECTION PLAN

SHEET 1 OF 4

16-001983-WCP-1+ PLAN No. 23.1

C

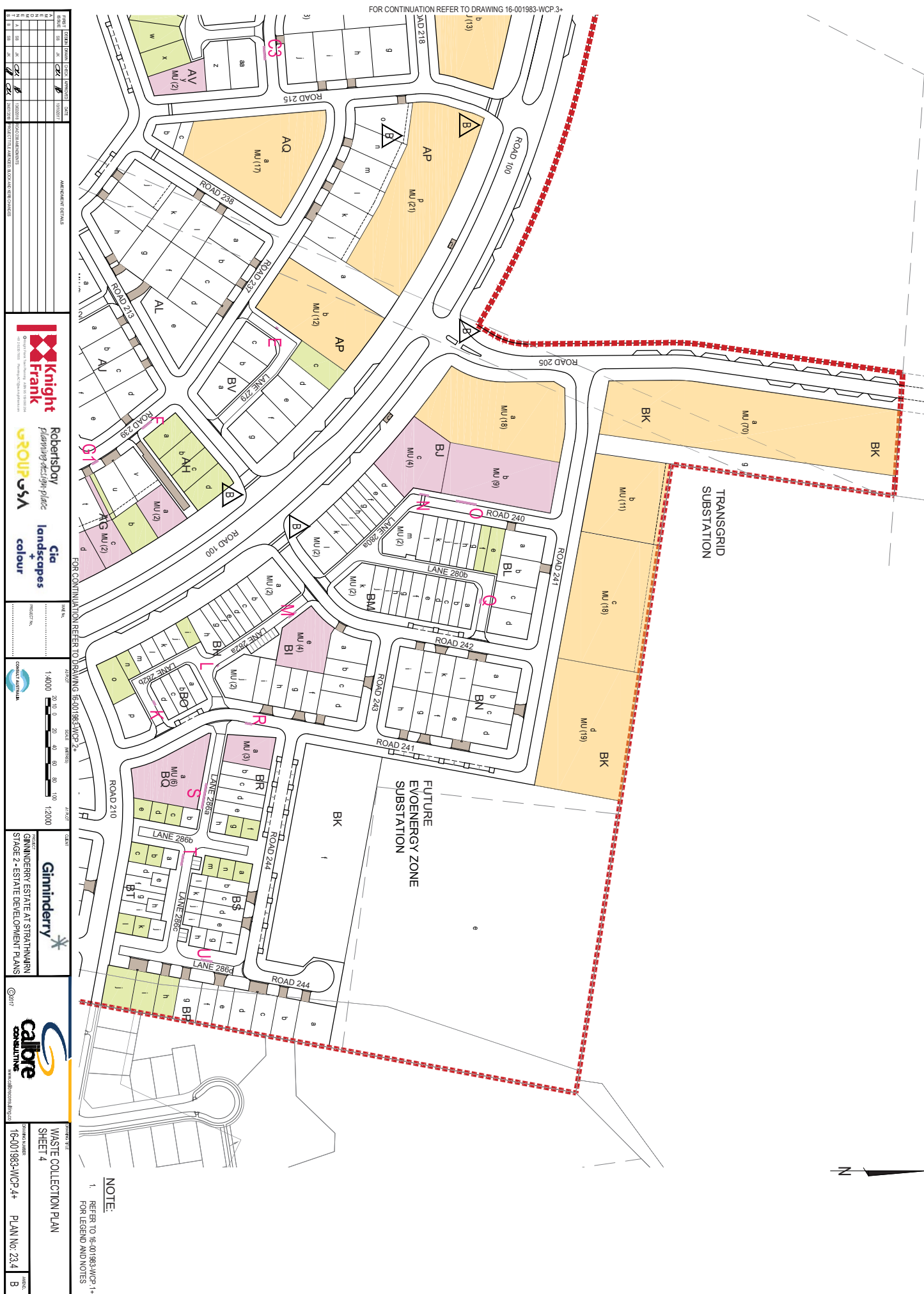
PROJECT: TRL
WASTE COLLECTION PLAN
SHEET 2
PROJECT NO. 16-001983-WCP 2+ PLAN NO. 23.2
AMND. B



[illegible][illegible]

FOR CONTINUATION REFER TO DRAWING 16-001983-WCP.4+

Bin pad locations - Stage 2







Ginninderry