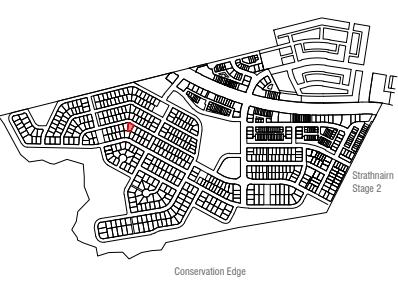


KEY MAP

■ SITE LOCATION



LEGEND

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Easement
- Min 1.8m clear Sewer Maintenance Access Route Required Refer Block Details Plan and ICON building requirements
- Water tank requirements

BLOCK SIZE (M ²)	MANDATORY MINIMUM TANK SIZE (L)
251 ≤ 350	2,000
351 ≤ 599	4,000
600 ≤ 800	6,000
> 801	10,000

MINIMUM BOUNDARY SETBACKS

- Single Dwelling Housing Development Code (SDHDC)
 front setbacks: refer to Rule 11:
 Table 2C for large blocks
 side and rear setbacks: refer to Rule 12:
 Table 5 for large blocks
- Nil or 900mm garage setback for walls maximum 8m in length refer to SDHDC Rule 14, Table 5

INDICATIVE BUILDING FOOTPRINTS

- (based on min. building setbacks. This does not take into account plot ratio or building envelopes)
- Lower Floor Level
 - Upper Floor Level
 - Upper Floor Level - Side and Rear Boundary - Screened
 - Upper Floor Level - Side and Rear Boundary - Unscreened

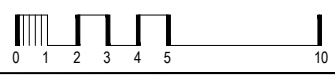
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AG
BLOCK	u
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

REV B HS DZ CS APPROVED DATE 04/05/22

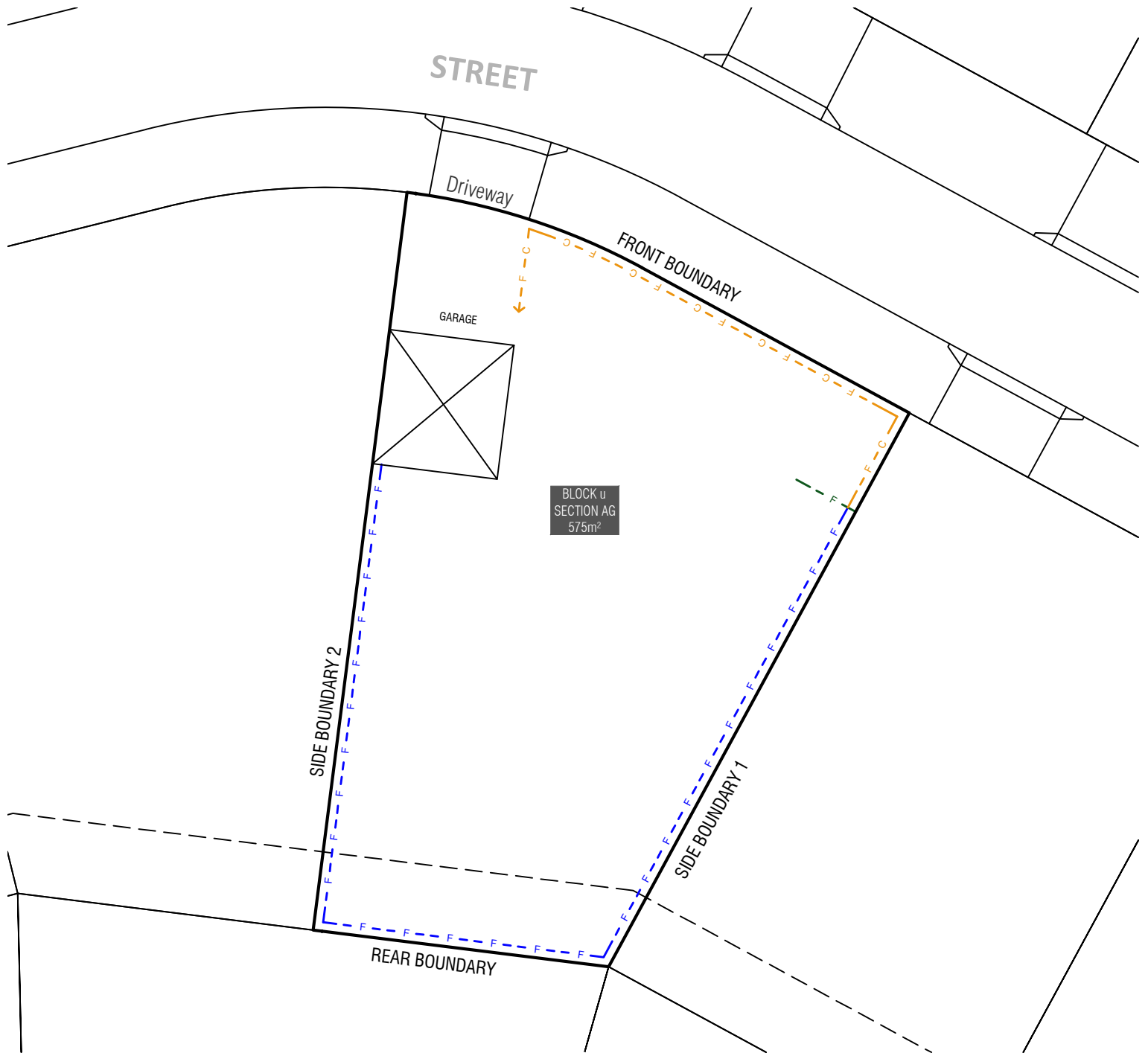
DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES. INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. APPROVED EDP PLANNING CONTROLS NEED TO BE CHECKED AGAINST PRECINCT CODE UPLIFTS. PLANS TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE 1:250 @A4



Ginninderry

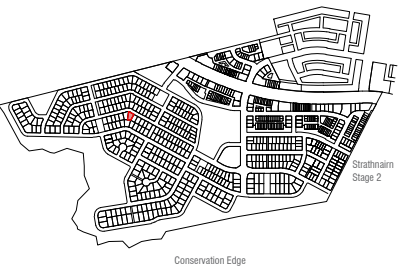
BLOCK PLANNING CONTROLS
BUILDING & SITING CONTROLS PLAN



BLOCK u
SECTION AG
575m²

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location

PRIVATE OPEN SPACE (POS)
refer to SDHDC:
R38 for large blocks

PRINCIPLE PRIVATE OPEN SPACE (PPOS)
refer to SDHDC R41 and Table 8

Retaining Wall Provisions
where located above retaining wall greater than 1m, fencing to be setback a minimum of 600mm from the boundary, providing sufficient space for planting, the maximum combined height of wall and fence is 2.2m from the footpath.

Services
Refer to Block Disclosure Plan for location of service access to this block. Proposed Fencing and Courtyard Walls to integrate service ties and meters.

BOUNDARY FENCING

- Side, Rear Fencing**
Maximum height 1.8m | Minimum setback 0m (100%) | **Min 1m behind the front building line Construction and Finish**
Inter- allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing. If Colorbond is used, the profile must be Neetascreen profile colour "Basalt". refer to Ginninderry Design Requirements
 - Street facing side gate/fence**
Maximum height 1.8m | **Min 1m behind the front building line Construction and Finish**
To be open form (min 10mm gaps) either treated hardwood, painted or stained softwood or powder coated aluminum. Ginninderry Design Requirements
 - Optional F5, Courtyard Wall** refer to Fencing Controls Plan
Mandatory height: 1.5m
Minimum Boundary Length: 50%
Minimum setback from boundary: Nil
- Construction and Finish**
Courtyard walls to be constructed from a combination of solid and semi-transparent elements of either rendered masonry, masonry or stonework. if over 600mm in height to include infill panels that are semi-transparent using materials such as: dressed hardwood, painted hardwood, powder coated aluminum slats (openings to be minimum 10mm).
- Return Boundary Fencing to Building Line or Side Fence**

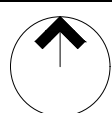
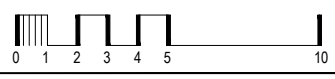
BLOCK INFORMATION

STAGE	1D
ZONE	RZ3
SECTION	AG
BLOCK	u
CLASSIFICATION	LARGE BLOCK
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	HS	DZ	CS	02/01/22

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SCALE
1:250 @A4



**BLOCK PLANNING CONTROLS
FENCING CONTROLS PLAN**