



**KEY MAP**



**LEGEND**

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Mandatory** Surveillance Block by Planning Controls Plan

**INDICATIVE BUILDING FOOTPRINTS**  
 (based on min. building setbacks **only** This does not take into account easements, plot ratio or building envelopes)

- Lower Floor Level
- Upper Floor Level
- Garage / Carport / Studio Unit Only

**NOTE:** If assessing against the SDHDC then the second dwelling can not be unit titled.

**MINIMUM BOUNDARY SETBACKS**

- Single Dwelling Housing Development Code (SDHDC)  
*front setbacks: refer to Rule 11:Table 2C*  
*side and rear setbacks: refer to Rule 12:Table 5*
- Upper Floor Level - Side and Rear Boundary - Screened
- Upper Floor Level - Side and Rear Boundary Unscreened
- 0.5m Lower floor level setback  
*refer to the block disclosure plans and Ginninderry Detail Sewer Tie. Available at <https://ginninderry.com/>*
- Strathnairn Stage 2 EDP  
*refer to the Planning Controls Plan*  
*Both floor levels (front setbacks) - external wall or unscreened element*  
*Lower floor level (side setbacks) - external wall*  
*Upper floor level (side setbacks) - external wall (screened)*
- Articulation Elements (Articulation Zone)  
*refer to Planning Controls Plan*

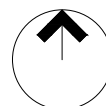
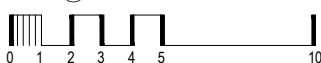
**BLOCK INFORMATION**

STAGE	2B1
ZONE	RZ 3
SECTION	50
BLOCK	7
CLASSIFICATION	LARGE SIZE
HOUSING TYPE	SINGLE DWELLING

REV	DRAWN	CHECKED	APPROVED	DATE
A	AK	AK	CS	04/06/20

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.  
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SCALE  
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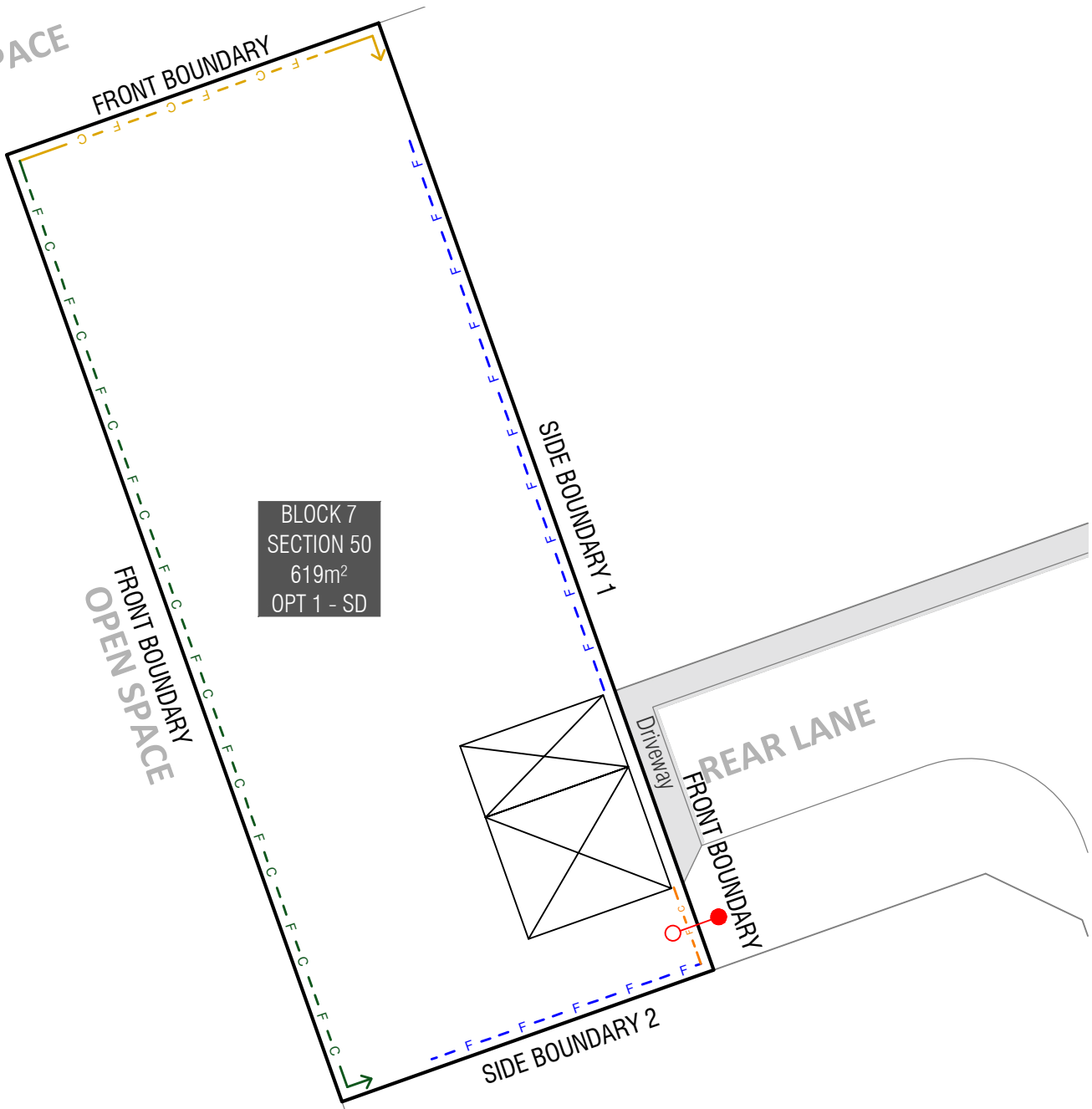


**Ginninderry**

**BLOCK PLANNING CONTROLS**  
**BUILDING & SITING CONTROLS PLAN**

OPEN SPACE

FRONT BOUNDARY



BLOCK 7  
SECTION 50  
619m<sup>2</sup>  
OPT 1 - SD

FRONT BOUNDARY  
OPEN SPACE

SIDE BOUNDARY 1

REAR LANE

Drieway

FRONT BOUNDARY

SIDE BOUNDARY 2

KEY MAP

SITE LOCATION



LEGEND

- Block Boundary
- Garage Location

PRIVATE OPEN SPACE (POS)

refer to SDHDC:  
R38 for large blocks

PRINCIPLE PRIVATE OPEN SPACE (PPOS)

refer to SDHDC R41 and Table 8

Services

Refer to Block Disclosure Plan for location of service access to this block. Proposed Fencing and Courtyard Walls to integrate service ties and meters.



Gate, street address and letterbox to be off lane (as indicated)  
refer to Planning Controls Plan

BOUNDARY FENCING

Side, Rear and Rear Lane Boundaries  
Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line**  
refer to EPSDD: Fences and Freestanding Walls Factsheet 2014

Construction and Finish

Inter-allotment fencing to be max 1.8m high timber paling fencing or lapped and capped timber paling fencing.

If Colorbond is used, the profile must be Neetascreen or a mini orb profile colour "Basalt". refer to Ginninderry Design Requirements

Mandatory Village/Green Link, Courtyard Walls and Fencing

Maximum height: PPOS screen 1.5m | otherwise 1.2m  
Minimum setback: 100% @ 0m  
refer to Fencing Controls Plan

Optional - Blocks Adjacent to Open Space

Maximum height 1.8m | Minimum setback 0m (100%)  
refer to Fencing Controls Plan

Optional Front Fencing, Courtyard Walls, Open Space and Laneways

Maximum height 1.8m | Minimum setback 0m (100%)  
refer to Fencing Controls Plan



Return Boundary Fencing to Building Line or Side Fence

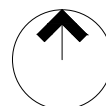
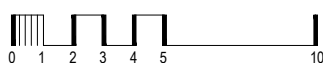
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FENCING CONTROLS PLAN