

**LEGEND**

- Block Boundary
- Garage Location
- Boundary Defined by SDHDC
- Articulation Elements (Articulation Zone) refer to SPC Rule 11, Table 3C
- Articulation Elements (Articulation Zone) refer to SPC Figure 6
- INDICATIVE BUILDING FOOTPRINTS**  
(based on min. building setbacks **only** This does not take into account easements or building envelopes)
- Lower Floor Level
- Upper Floor Level

**MINIMUM BOUNDARY SETBACKS**

- Single Dwelling Housing Development Code (SDHDC) front setbacks: refer to Rule 11, Table 3C side and rear setbacks: refer to Rule 12, Table 6B
- Strathnairn Precinct Code (SPC) refer to the SPC - Rule 1 & 2, Figure 6
- Upper Floor Level - Side and Rear Boundary - Screened
- Upper Floor Level - Side and Rear Boundary - Unscreened
- 1.5m or nil setback to a max length of 13m refer to SDHDC Rule 12, Rule 15, Table 6B

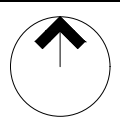
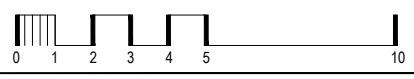
**BLOCK INFORMATION**

STAGE	1A
ZONE	RZ3
SECTION	11
BLOCK	4
CLASSIFICATION	MID SIZE
HOUSING TYPE	SINGLE DWELLING

REV DRAWN CHECKED APPROVED DATE  
A JE AK CS 18/10/19

DO NOT SCALE OFF DRAWINGS. DIMENSIONS ARE IN METRES.  
INFORMATION ON THIS PLAN IS TO BE USED AS A GUIDE ONLY FOR THE DESIGN PROCESS. TO BE READ IN CONJUNCTION WITH THE TERRITORY PLAN ALONG WITH BLOCK DISCLOSURE PLANS AND THE GINNINDERRY DESIGN REQUIREMENTS TO CONFIRM ALL CURRENT CONTROLS PERTAINING TO YOUR BLOCK.

SCALE  
1:200 @A4



**Ginninderry**

**BLOCK PLANNING CONTROLS**  
**BUILDING & SITING CONTROLS PLAN**



**LEGEND**

- Block Boundary
- Garage Location

**PRIVATE OPEN SPACE (POS)**  
refer to SDHDC:  
R38 for large blocks,  
R39 for mid size blocks,  
R40 for compact blocks

**PRINCIPLE PRIVATE OPEN SPACE (PPOS)**  
refer to SDHDC R41 and Table 8

**BOUNDARY FENCING**

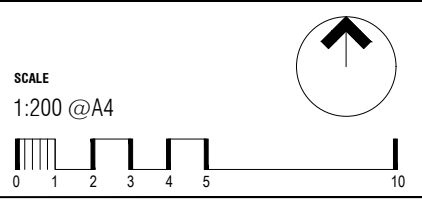
- Side, Rear and Rear Lane Boundaries**  
Maximum height 1.8m | Minimum setback 0m (100%) | **Not forward of building line**  
refer to EPSDD: Fences and Freestanding Walls Factsheet 2014
- Front Fencing, Courtyard Walls and Laneways**  
Maximum height 1.8m | Minimum setback 0m (100%)  
refer to SPC Rule 8, Table 1, Figure 2
- Corner Identified for Corner Control**  
refer to SPC Table 1, Figure 1
- Corner Blocks**  
Maximum height 1.5m | Minimum setback 0m (50%) and 0.6m (50%)  
No fencing within 6m of the corner  
refer to SPC Rule 8, Table 1, Figure 1
- Return Boundary Fencing to Building Line or Side Fence**

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**BLOCK PLANNING CONTROLS FENCING CONTROLS PLAN**