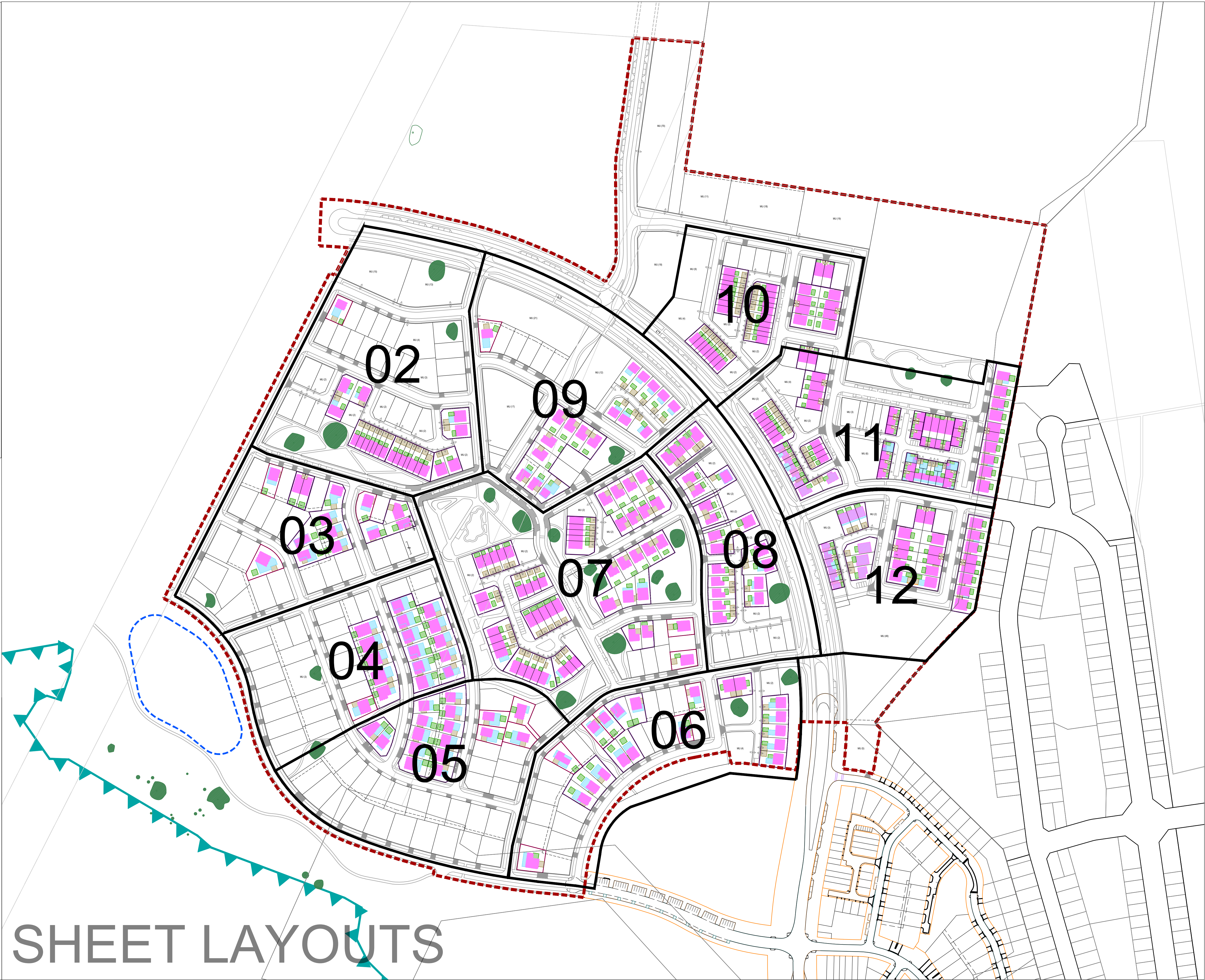


LEGEND

- EDP Stage Boundary
- NON COMPLIANT BLOCKS  
(Refer to Block Compliance Plan and Planning Controls Plan)
- INTEGRATED DEVELOPMENT PARCELS  
(Refer to Block Compliance Plan and Planning Controls Plan)
- Existing Trees to be retained
- Lower Floor Level Indicative Footprint
- Upper Floor Level Indicative Footprint
- Indicative Principle Private Open Space Location
- Indicative Garage/Carport Location
- Indicative Second Parking Space Location
- Driveway Locations
- Indicative Laneway Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable



Public Reserve Boundary  
(Refer Territory Plan )



SHEET LAYOUTS

FIRST ISSUE		DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A M E N D M E N T S	A	CS	CS	LC	LC	18.09.17	
	B	CS	CS	LC	LC	09.10.17	
	C	CS/AT	AT/UE	LC	LC	09.02.18	
	D	HV	HV/YY	LC	LC	24.07.18	
	E	HV	HV/YY	LC	LC	30.10.18	
Draft for Tech check							
Issue A for First Agency Circulation							
Issue B for Second Agency Circulation							
Issue C Layout changes as identified, issue for tech check							
Issue D for Development Approval							

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A3 PLOT SCALE (METRES) 1:4000 0 10 20 40 60 80 100

A1 PLOT 1:2000

CLIENT RIVERVIEW PROJECTS (ACT)

PROJECT **GINNINDERRY**  
STAGE 2  
ESTATE  
AT  
STRATHNAIRN

DRAWING TITLE **BUILDING ENVELOPES PLAN (INTEGRATED DEVELOPMENT PLANS)**  
SHEET 1 OF 12

DRAWING NUMBER 107868.15-009 EDP Plan No. 24.01

AMEND. **D**





AMENDMENT	FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
	A	CS	CS	LC	LC	18.09.17	Draft for Tech check
	B	CS	CS	LC	LC	09.10.17	Issue A for First Agency Circulation
	C	CS/AT	AT/UE	LC	LC	09.02.18	Issue B for Second Agency Circulation
	D	HV	HV/YY	LC	LC	24.07.18	Issue C Layout changes as identified, issue for tech check
						30.10.18	Issue D for Development Approval

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A3 PLOT  
1:1000

SCALE (METRES)  
0 5 10 15 20 25

A1 PLOT  
1:500

N

**CONSULT AUSTRALIA**

**RIVERVIEW PROJECTS (ACT)**

**Ginninderry**

**GINNINDERRY**  
STAGE 2  
ESTATE  
AT  
STRATHNAIRN

DRAWING TITLE  
**BUILDING ENVELOPES PLAN  
(INTEGRATED DEVELOPMENT PLANS)**  
SHEET 2 OF 12

DRAWING NUMBER  
107868.15-009

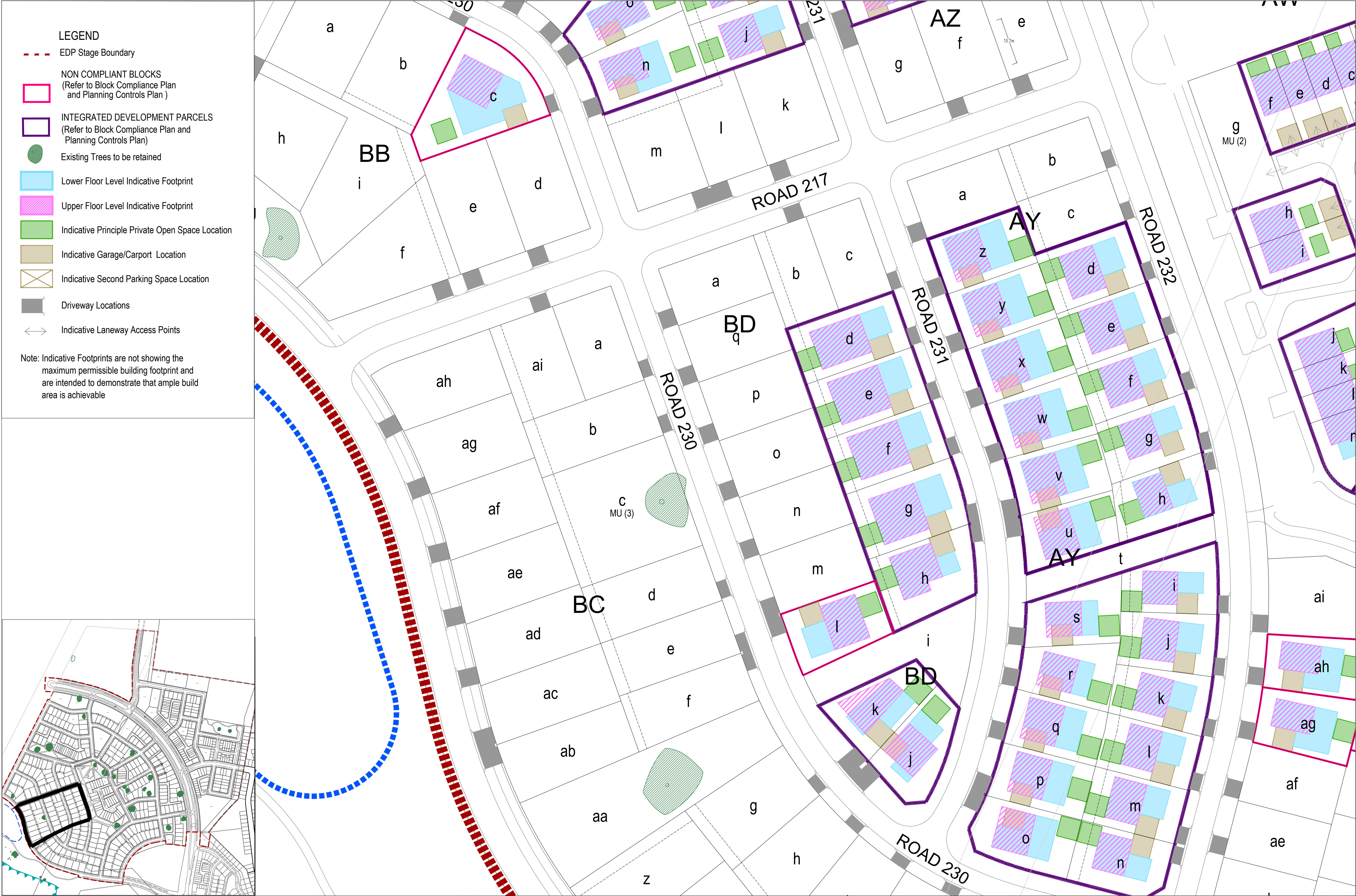
EDP Plan No.  
24.02

AMEND.  
**D**



DRAWING TITLE		AMEND.
BUILDING ENVELOPES PLAN (INTEGRATED DEVELOPMENT PLANS) SHEET 3 OF 12		
DRAWING NUMBER	EDP Plan No. 24.03	D
107868.15-009		





FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A E W O M D N S	CS	CS	LC	LC	18.09.17	Draft for Tech check
	A	CS	CS	LC	09.10.17	Issue B for First Agency Circulation
	B	CS/AT	AT/UE	LC	09.02.18	Issue B for Second Agency Circulation
	C	HV	HV/YY	LC	24.07.18	Issue C Layout changes as identified, issue for tech check
	D	HV	HV/YY	LC	30.10.18	Issue D for Development Approval

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A3 PLOT

SCALE (METRES)

1:1000

0 5 10 15 20 25

A1 PLOT

CLIENT

RIVERVIEW PROJECTS (ACT)

PROJECT

GINNINDERRY  
STAGE 2  
ESTATE  
AT  
STRATHNAIRN

DRAWING TITLE

BUILDING ENVELOPES PLAN  
(INTEGRATED DEVELOPMENT PLANS)  
SHEET 4 OF 12

DRAWING NUMBER

107868.15-009 EDP Plan No. 24.04

AMEND.

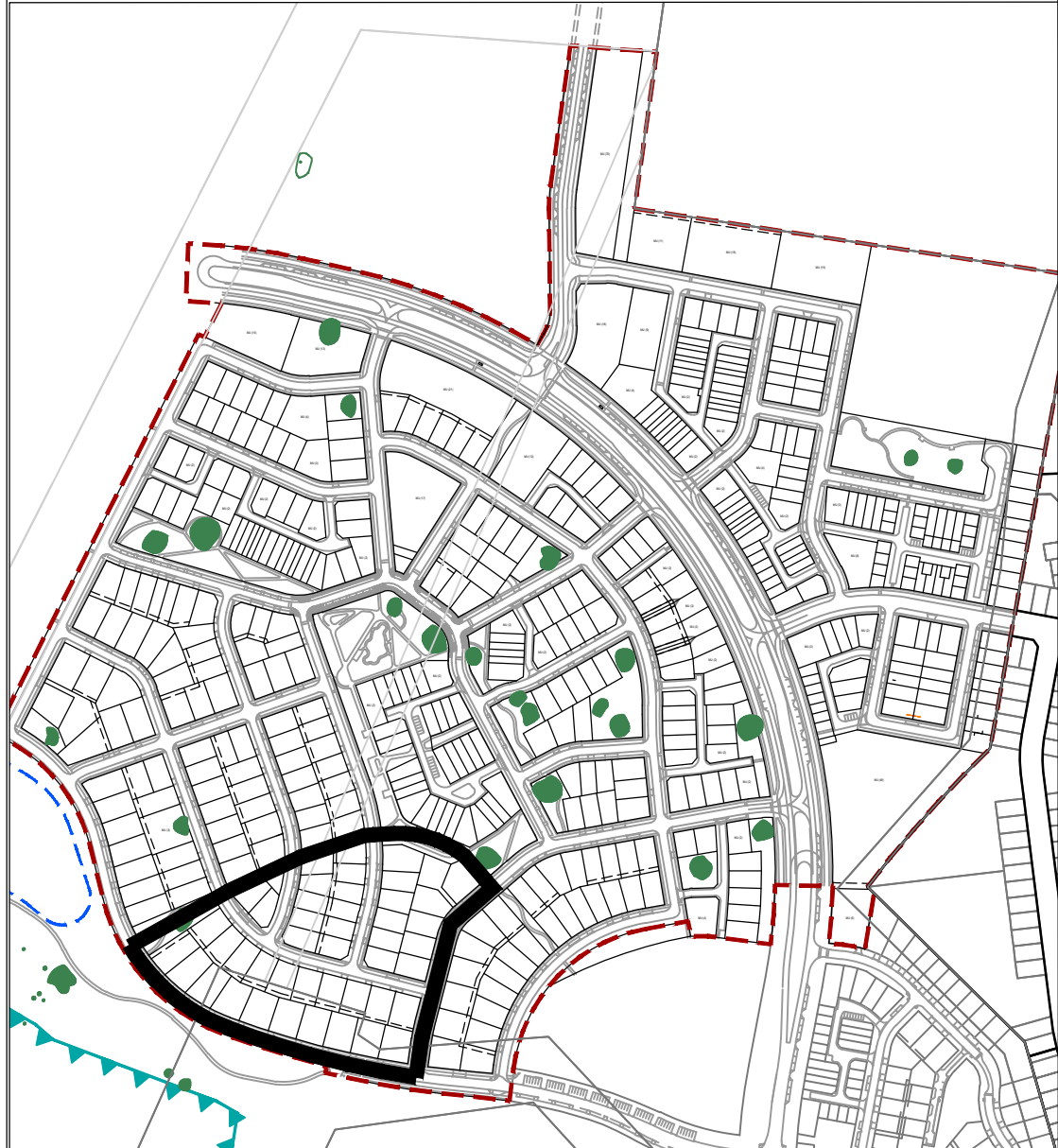
D





- LEGEND**
- EDP Stage Boundary
  - NON COMPLIANT BLOCKS  
(Refer to Block Compliance Plan and Planning Controls Plan)
  - INTEGRATED DEVELOPMENT PARCELS  
(Refer to Block Compliance Plan and Planning Controls Plan)
  - Existing Trees to be retained
  - Lower Floor Level Indicative Footprint
  - Upper Floor Level Indicative Footprint
  - Indicative Principle Private Open Space Location
  - Indicative Garage/Carport Location
  - Indicative Second Parking Space Location
  - Driveway Locations
  - Indicative Laneway Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable



REV	FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS	
	A	CS	CS	LC	LC	18.09.17	Draft for Tech check	
	B	CS	CS	LC	LC	09.10.17	Issue A for First Agency Circulation	
	C	CS/AT	AT/UE	LC	LC	09.02.18	Issue B for Second Agency Circulation	
	D	HV	HV/YY	LC	LC	24.07.18	Issue C Layout changes as identified, Issue for tech check	
						30.10.18	Issue D for Development Approval	

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A3 PLOT 1:1000

SCALE (METRES)  
0 5 10 15 20 25

A1 PLOT 1:500

**N**

CLIENT

**RIVERVIEW PROJECTS (ACT)**

PROJECT

**Ginninderry**

**GINNINDERRY STAGE 2 ESTATE AT STRATHNAIRN**

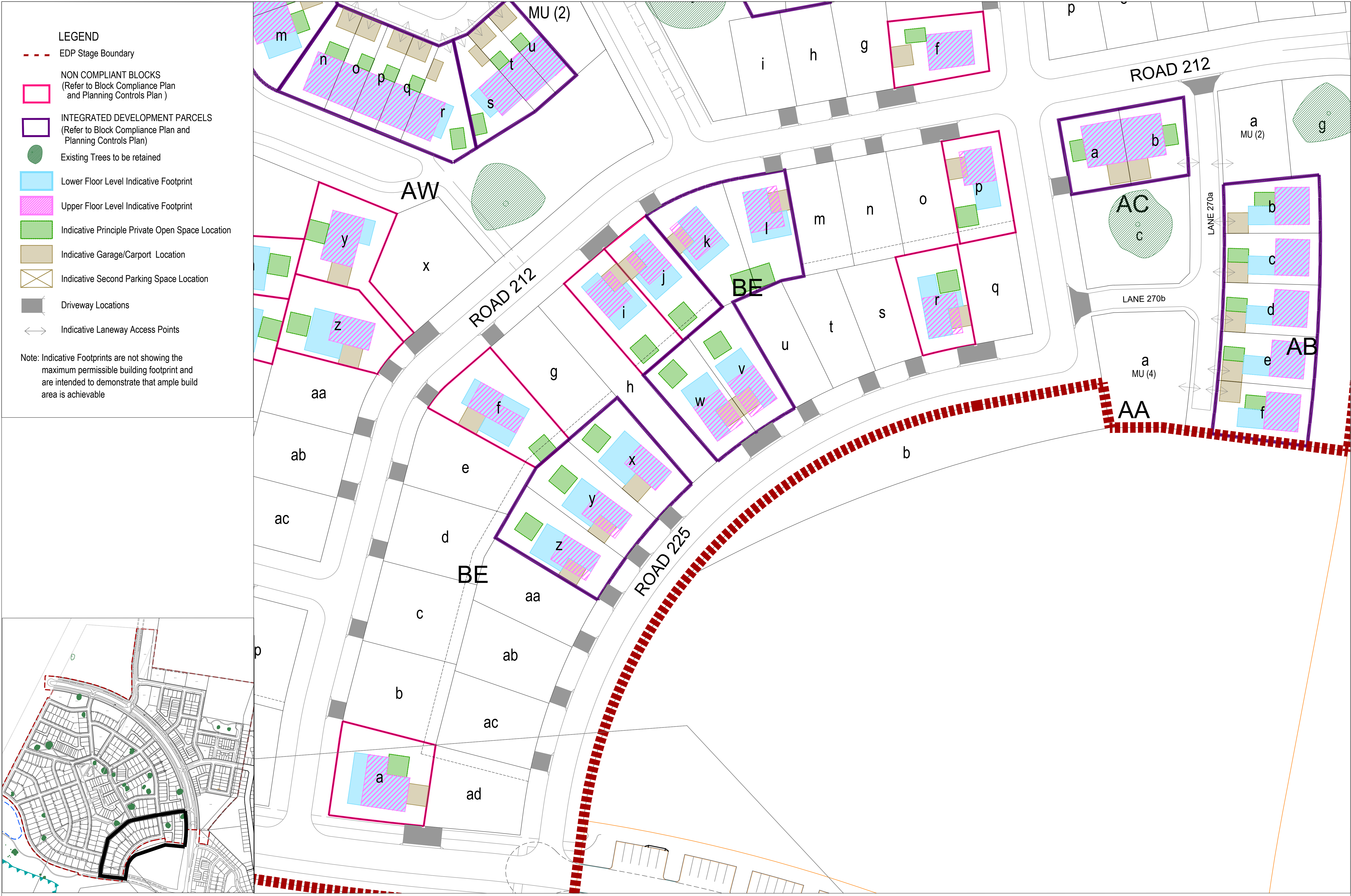
DRAWING TITLE  
**BUILDING ENVELOPES PLAN (INTEGRATED DEVELOPMENT PLANS)**  
SHEET 5 OF 12

DRAWING NUMBER  
107868.15-009

EDP Plan No. 24.05

AMEND.  
**D**





LEGEND

- EDP Stage Boundary
- NON COMPLIANT BLOCKS  
(Refer to Block Compliance Plan  
and Planning Controls Plan)
- INTEGRATED DEVELOPMENT PARCELS  
(Refer to Block Compliance Plan and  
Planning Controls Plan)
- Existing Trees to be retained
- Lower Floor Level Indicative Footprint
- Upper Floor Level Indicative Footprint
- Indicative Principle Private Open Space Location
- Indicative Garage/Carport Location
- Indicative Second Parking Space Location
- Driveway Locations
- Indicative Laneway Access Points

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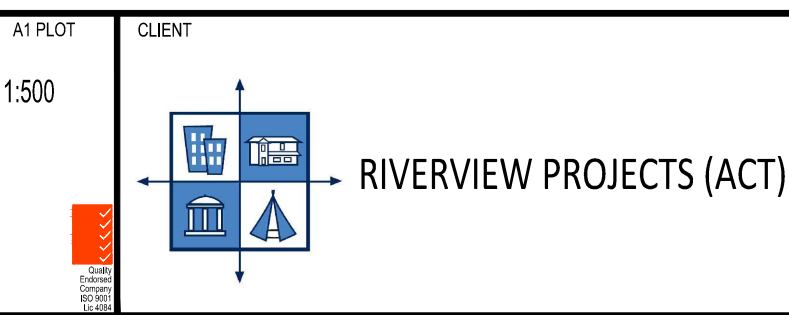
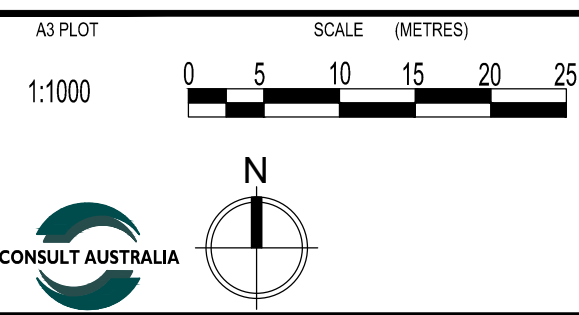


FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
	A	CS	CS	LC	LC	18.08.17
	B	CS/AT	AT/UE	LC	LC	09.10.17
	C	HV	HV/YV	LC	LC	09.02.18
	D	HV	HV/YV	LC	LC	24.07.18
					30.10.18	Issue D for Development Approval



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+ colour



PROJECT  
GINNINDERRY  
STAGE 2  
ESTATE  
AT  
STRATHNAIRN

DRAWING TITLE  
BUILDING ENVELOPES PLAN  
(INTEGRATED DEVELOPMENT PLANS)  
SHEET 6 OF 12  
DRAWING NUMBER  
107868.15-009 EDP Plan No. 24.06

AMEND.  
D





- LEGEND**
- EDP Stage Boundary
  - NON COMPLIANT BLOCKS  
(Refer to Block Compliance Plan and Planning Controls Plan)
  - INTEGRATED DEVELOPMENT PARCELS  
(Refer to Block Compliance Plan and Planning Controls Plan)
  - Existing Trees to be retained
  - Lower Floor Level Indicative Footprint
  - Upper Floor Level Indicative Footprint
  - Indicative Principle Private Open Space Location
  - Indicative Garage/Carport Location
  - Indicative Second Parking Space Location
  - Driveway Locations
  - Indicative Laneway Access Points

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FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	CS	CS	LC	LC	18.09.17	Draft for Tech check
B	CS	CS	LC	LC	09.10.17	Issue A for First Agency Circulation
C	CSAT	AT/UE	LC	LC	09.02.18	Issue B for Second Agency Circulation
D	HV	HV/YY	LC	LC	24.07.18	Issue C Layout changes as identified, issue for tech check
E	HV	HV/YY	LC	LC	30.10.18	Issue D for Development Approval

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A3 PLOT SCALE (METRES) 1:1000 0 5 10 15 20 25

A1 PLOT CLIENT RIVERVIEW PROJECTS (ACT)

PROJECT **Ginninderry**

GINNINDERRY  
STAGE 2  
ESTATE  
AT  
STRATHNAIRN

DRAWING TITLE  
**BUILDING ENVELOPES PLAN  
(INTEGRATED DEVELOPMENT PLANS)**  
SHEET 7 OF 12

DRAWING NUMBER  
107868.15-009

EDP Plan No. 24.07

AMEND.  
**D**



LEGEND

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EDP Stage Boundary

NON COMPLIANT BLOCKS  
(Refer to Block Compliance Plan and Planning Controls Plan)

INTEGRATED DEVELOPMENT PARCELS  
(Refer to Block Compliance Plan and Planning Controls Plan)

Existing Trees to be retained

Lower Floor Level Indicative Footprint

Upper Floor Level Indicative Footprint

Indicative Principle Private Open Space Location

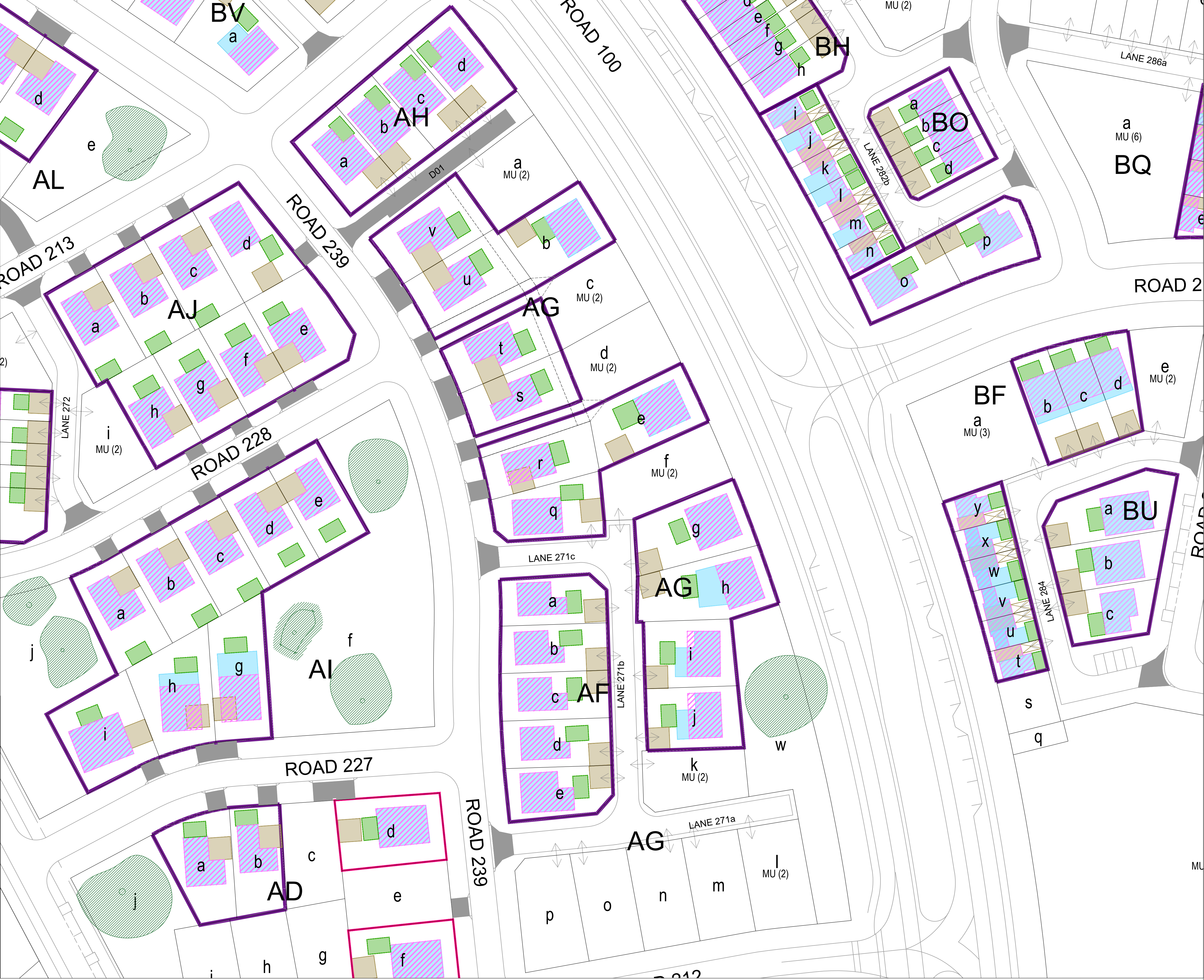
Indicative Garage/Carport Location

Indicative Second Parking Space Location

Driveway Locations

Indicative Laneway Access Points

Note: Indicative Footprints are not showing the maximum permissible building footprint and are intended to demonstrate that ample build area is achievable



FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	CS	CS	LC	LC	18.08.17	Draft for Tech check
A	CS	CS	LC	LC	09.10.17	Issue A for First Agency Circulation
B	CSAT	ATUJE	LC	LC	09.02.18	Issue B for Second Agency Circulation
C	HV	HVYY	LC	LC	24.07.18	Issue C Layout changes as identified, Issue for tech check
D	HV	HVYY	LC	LC	30.10.18	Issue D for Development Approval

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A3 PLOT

SCALE (METRES)

1:1000

0 5 10 15 20 25

N

A1 PLOT

CLIENT

RIVERVIEW PROJECTS (ACT)

PROJECT

GINNINDERRY

STAGE 2

ESTATE

AT

STRATHNAIRN

DRAWING TITLE

BUILDING ENVELOPES PLAN  
(INTEGRATED DEVELOPMENT PLANS)

SHEET 8 OF 12

DRAWING NUMBER

107868.15-009

EDP Plan No. 24.08

AMEND.

D



DRAWING TITLE	
BUILDING ENVELOPES PLAN (INTEGRATED DEVELOPMENT PLANS) SHEET 9 OF 12	
DRAWING NUMBER	AMEND.
107868.15-009 EDP Plan No. 24.09	D





- LEGEND**
- EDP Stage Boundary
  - NON COMPLIANT BLOCKS  
(Refer to Block Compliance Plan and Planning Controls Plan)
  - INTEGRATED DEVELOPMENT PARCELS  
(Refer to Block Compliance Plan and Planning Controls Plan)
  - Existing Trees to be retained
  - Lower Floor Level Indicative Footprint
  - Upper Floor Level Indicative Footprint
  - Indicative Principle Private Open Space Location
  - Indicative Garage/Carport Location
  - Indicative Second Parking Space Location
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REV	DESIGN					DATE	AMENDMENT DETAILS
	FIRST	DESIGN	DRAWN	CHECK	APPROVED		
	ISSUE	CS	CS	LC	LC		
	A	CS	CS	LC	LC	18.08.17	Draft for Tech check
	B	CSAT	AT/UE	LC	LC	09.10.17	Issue A for First Agency Circulation
S	C	HV	HV/YY	LC	LC	09.02.18	Issue B for Second Agency Circulation
	D	HV	HV/YY	LC	LC	24.07.18	Issue C Layout changes as identified, issue for tech check
						30.10.18	Issue D for Development Approval

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A3 PLOT SCALE (METRES) 1:1000 0 5 10 15 20 25

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A1 PLOT CLIENT RIVERVIEW PROJECTS (ACT)

PROJECT **Ginninderry**

BUILDING ENVELOPES PLAN (INTEGRATED DEVELOPMENT PLANS) SHEET 11 OF 12

GINNINDERRY STAGE 2 ESTATE AT STRATHNAIRN

DRAWING NUMBER 107868.15-009 EDP Plan No. 24.11

AMEND. **D**





FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
	A	CS	CS	LC	LC	18.08.17
	B	CS	CS	LC	LC	09.10.17
	C	CSAT	AT/UE	LC	LC	09.02.18
	D	HV	HV/YY	LC	LC	24.07.18
	D	HV	HV/YY	LC	LC	30.10.18

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RIVERVIEW PROJECTS (ACT)

SCALE (METRES)

0 5 10 15 20 25

1:1000

1:500

GINNINDERRY  
STAGE 2  
ESTATE  
AT  
STRATHNAIRN

DRAWING TITLE

BUILDING ENVELOPES PLAN  
(INTEGRATED DEVELOPMENT PLANS)

SHEET 12 OF 12

DRAWING NUMBER

107868.15-009

EDP Plan No. 24.12

AMEND.

D